

EXECUTIVE DRIVE BUILDING ADDITION

SITE PLAN APPLICATION #07-20

STAFF REPORT

SITE: 36 Executive Drive; Map 215 Lot 4

ZONING: Industrial (I)

PURPOSE OF PLANS: To show a proposed 1-story, 100,000 square-foot high-bay building addition along with accompanying loading, parking, and site improvements.

PLANS UNDER REVIEW: Site Plan - Proposed Building Addition; prepared by Hayner/Swanson, Inc., 3 Congress St., Nashua, NH 03062; prepared for: NV Hudson Industrial, 265 Franklin Street, Suite 1001, Boston, Massachusetts 02110; consisting of 23 Sheets and cover sheet and Notes 1-26 on Sheets 1 & 2; dated June 12, 2020.

Note: *Revised Plans received on September 9, 2020. Not reviewed at time of report.*

ATTACHMENTS:

- A. Project Narrative, dated June 12, 2020
- B. Pernaw & Company, Inc. Trip Generation Analysis, dated May 8, 2020
- C. Departmental Reviews
- D. Fuss O'Neil Peer Review, dated July 31, 2020
- E. CAP fee worksheet

APPLICATION TRACKING:

- July 1, 2020 – Preliminary meeting with applicant's engineer
- Jul 13, 2020 – Application Received
- August 19-20, 2020 – Revised materials received
- August 25, 2020 – Met with applicant to clarify proposed land use
- September 19, 2020 – Public Hearing Scheduled

WAIVER REQUESTS:

- §193-10.G – Number of driveways
- §275-8.C.2 – Number of parking spaces

COMMENTS:

The existing 2-story building operates as a warehouse for BAE Systems, encompasses roughly 209,000 square feet of building space, and includes 19 loading docks, 115 parking spaces, and 3 driveway entrances along Executive Drive. This application proposes to construct a high-bay, 1-story (36 feet), 100,000 square foot warehouse addition on the north end of the existing building.

The proposed use is strictly warehouse, not a distribution warehouse.

The addition is intended for 2 tenants (none currently under lease) and includes 22 new loading docks, 64 parking spaces, and 1 new driveway entrance on Executive Drive. Two new infiltration basins will also be installed for improved stormwater management. The improvements will disturb approx. 283,000 square feet, and is subject to an Alteration of Terrain permit. The site’s current stormwater management system consists of various catch basins and underground pipes leading into a large sedimentation basin which subsequently discharges into the Merrimack River.

The site is currently served by Town sewer and water, underground gas, telecommunication, and electric utilities. To the best of the applicant’s knowledge, the adjacent roadway has adequate capacity to serve the intended improvements. The original site plan for this site anticipated the addition before the Board today, thus the utilities were installed with this expectation.

Various types of easements are present throughout the site (including access, conservation, drainage, and utility) to several different entities (including the Town of Hudson) which are not impacted by the proposal. Furthermore, the site plans indicate no impact on any lands within the Shoreland Protection Area (250ft from the Merrimack River).

The applicant is requesting waivers for the number of driveways and parking spaces. In 1997, the site was granted a waiver for parking requirements due to the understanding that there was to be no increase in employee count. It is also understood that the continuing function of the site will be similar and not employee intensive.

Regulation	Requirement	Proposed
§193-10.G – Number of driveways	1	4 (3 existing)
§275-8.C.2 – Number of parking spaces	515 (1/600sf)	154 spaces (132 existing)

Currently, there are 132 parking spaces. 42 spaces will be removed as part of the proposed expansion, and a new 64 space lot is proposed to be built, resulting in 154 total spaces. 62 of these spaces are dedicated to the southern end of the building (BAE), and the remaining 92 are dedicated to the northern end.

Town Department Review

The **Fire Chief** requested marking for fire apparatus access, three (3) hydrant maps, a hydrant at the center of the new addition, and that the proposed snow storage area be cut back away from the cistern. Chief Buxton also notes additional permits required by this proposal.

The **Town Engineer** requested information related to water & sewer flows and demands, and a water assessment related to domestic and fire protection.

Absent the information and clarifications still required by the Town Engineer, it is recommended that the Planning Board accept the application to begin discussion on the proposal, and then continue the hearing to a later date until these items are resolved.

Peer Review

Fuss & O'Neill notes similar remarks to those of the Fire Chief and Town Engineer. These items are subject to their final approval. Also noted are several drawing errors and/or missing information that should be submitted in a revised plan.

DRAFT MOTIONS

ACCEPT OR DEFER the site plan application:

I move to accept the site plan application for 36 Executive Drive; Map 215 Lot 4.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more information, move to **defer** the application and indicate why]*

GRANT a waiver:

I move to grant a waiver from §193-10.G – Number of driveways, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

GRANT a waiver:

I move to grant a waiver from §275-8.C.2 – Number of parking spaces, based on the Board’s discussion, the testimony of the Applicant’s representative, and in accordance with the testimony provided in the application.

Motion by: _____ Second: _____ Carried/Failed: _____

CONTINUE the public hearing to a date certain:

I move to continue the public hearing for the site plan application for 36 Executive Drive; Map 215 Lot 4, to date certain, _____.

Motion by: _____ Second: _____ Carried/Failed: _____

*[If the Board needs more time to deliberate, move to **continue** the hearing]*



PROJECT NARRATIVE

**Proposed Building Addition
36 Executive Drive
Map 215, Lot 4
Hudson, New Hampshire
12 June 2020
Revised: 20 August 2020**

The subject site under consideration for this application is located at 36 Executive Drive, Hudson, NH. The parcel is known to the Hudson Assessors Department as Map 215, Lot 4. The lot measures 25.84+/- acres and is located in the I - Industrial zoning district and within the Sagamore Industrial Park. The site is abutted by Executive Drive and commercial and industrial properties to the east, commercial and industrial properties to the north and south, and the Merrimack River along the westerly property boundary.

The lot currently contains an existing partial 2-story, 208,960 square foot industrial building along with associated parking and loading areas. Access to the site is provided via three curb cuts on Executive Drive. The site is currently serviced by municipal sewer and water, and underground gas, telecommunications and electric utilities. Stormwater management on the site consists a closed (catch basins and underground pipes, which discharges to a large sedimentation basin at the north end of the property. This sedimentation basin in-turn discharges to the Merrimack River in the southwesterly corner of the site. NRCS soil mapping shows that this site contains Windsor and Hinckley sandy soils with deep depths to groundwater and bedrock. Based upon inspection by the project's wetland scientist, there are no wetlands located on the site but the Wetland Conservation District buffer associated with the easterly boundary of the Merrimack River extends onto the property. There is no work proposed within this buffer or the 250-foot Shoreland Protection Buffer to the easterly shore of the Merrimack River.

The property is the former Southeastern Container facility, and is owned by NV Hudson Industrial, LLC who is also the applicant. The building had been vacant until recently. 124,000 sf of the building is now leased by BAE Systems for warehouse use, with the remaining vacant portions of the existing building (two additional tenant spaces) being actively marketed for lease as warehouse space by the

property owner. It is being proposed to construct a high bay 1-story (36 feet), 100,000 square foot warehouse addition (two new tenant spaces) on the north end of the existing building. The proposed expansion will contain high bay warehouse space and 22 new loading docks located on the west side of the addition. No specific users for this new space are under lease at the time of this application. Associated site improvements include new parking and loading dock areas, site grading, two new stormwater management basins, landscaping, and site lighting. A new 64-space parking lot on the east side of the site is proposed to make up for the vehicle spaces lost where the proposed addition is planned. To the best of our knowledge the sewer, water, gas, telecommunication and electric utilities present in the adjacent roadway have adequate capacity to service this intended use.

Upon project completion, the site will contain approximately 50.29% open space, where 35% is the minimum required. The layout for the building addition and associated site improvements has been developed to minimize environmental issues. The site development associated with the overall construction of this project disturbs approximately 283,000 square feet of contiguous area.

A traffic report has been prepared by the traffic consultant which summarizes the anticipated impacts of the proposed project on the area road network.

MEMORANDUM

Ref: 2002A

To: Nicholas Eddy
NV Hudson Industrial, LLC

From: Stephen G. Pernaw, P.E., PTOE

Subject: 36 Executive Drive Expansion
Hudson, New Hampshire

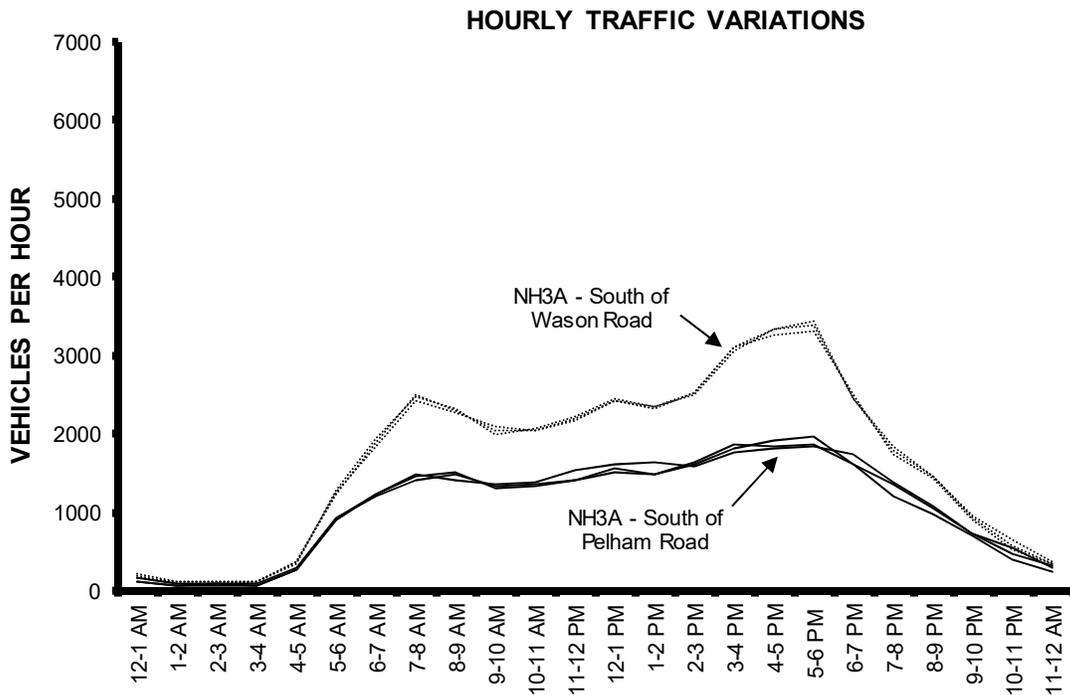
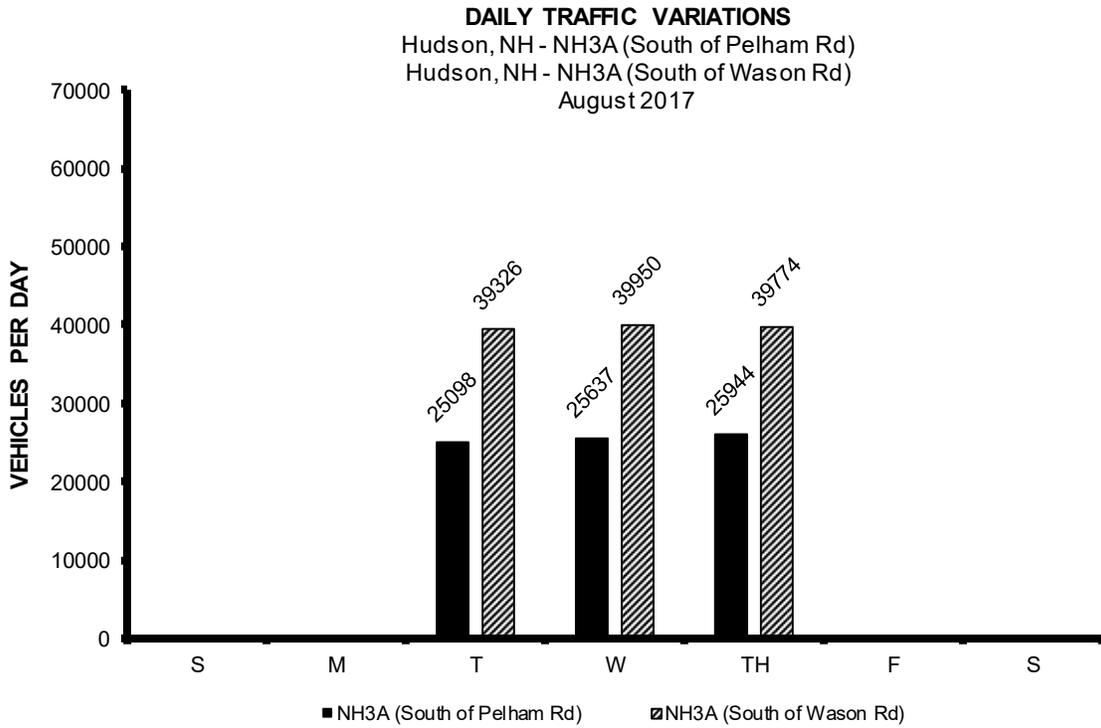
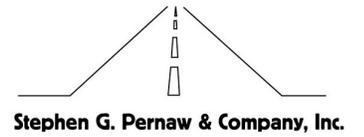
Date: May 8, 2020

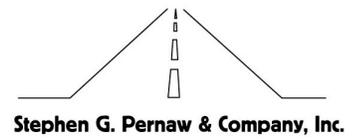
As requested, Pernaw & Company, Inc. has conducted this trip generation analysis for the proposed expansion of the former Southeast Container, Inc. facility located at 36 Executive Drive in Hudson, New Hampshire. The site is situated in an industrial park that is accessed via Executive Drive, Hampshire Drive, and Flagstone Drive. The purpose of this memorandum is to summarize the results of our trip generation analyses, as well as our research of available traffic count data for this area. To summarize:

Proposed Development – According to the site plan excerpt provided (see Attachment 1), this project involves the construction of a 100,000 sf building addition at the north end of the site. Access to the site will continue to be provided via three full-access driveways on the east side of Executive Drive. The middle driveway is being moved approximately 200-feet to the north to accommodate the proposed building expansion.

Existing Traffic Volumes – Research at the New Hampshire Department of Transportation (NHDOT) revealed that a short-term automatic traffic recorder count was conducted on Lowell Road (NH3A) south of Pelham Road in August 2017. This count location is located approximately 0.5 miles north of Executive Drive. The NHDOT data shows this section of Lowell Road carried an Annual Average Daily Traffic (AADT) volume of approximately 22,972 vehicles per day (vpd) in 2019, up slightly from 22,700 vpd in 2018.

A similar traffic count was conducted on Lowell Road south of Wason Road during the same months/years. This count station is located approximately 0.7 miles south of Executive Drive. The AADT volume on this section of NH3A was 35,671 vpd in 2019, up slightly from 35,248 in 2018. The raw data from the 2017 August counts are summarized graphically on Page 2 and show the daily and hourly variations in traffic demand on the corridor. This data shows that hourly traffic volumes in the area typically reach peak levels during the morning and late afternoon on weekdays; thus reflecting typical commuting patterns. The detail sheets pertaining to these counts are attached (see Attachments 2 - 5).





Trip Generation - To estimate the quantity of vehicle-trips that will be produced by the existing facility and expanded facility, Pernaw & Company, Inc. considered the standard trip generation rates and equations published by the Institute of Transportation Engineers¹ (ITE). Land Use Code LUC 150 (Warehousing) is the most applicable category for the subject site, and the gross floor area was utilized as the independent variable in both cases.

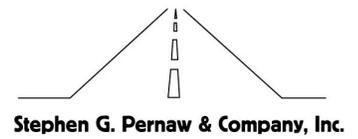
Table 1 shows that the proposed building expansion project will increase site traffic minimally: +12 (AM) and +12 (PM) vehicle-trips during the peak hour periods. The computations pertaining to these analyses are attached (see Attachments 6 & 7).

Table 1		Trip Generation Summary (Average Weekday Conditions)		
		Existing Building ¹ (215,206 sf)	Expanded Building ¹ (315,206 sf)	Net Change
Weekday (24 Hours)				
	Entering	193 veh	272 veh	+79 trips
	Exiting	<u>193 veh</u>	<u>272 veh</u>	<u>+79 trips</u>
	Total	386 trips	544 trips	+158 trips
AM Peak Hour				
	Entering	39 veh	49 veh	+10 trips
	Exiting	<u>12 veh</u>	<u>14 veh</u>	<u>+2 trips</u>
	Total	51 trips	63 trips	+12 trips
PM Peak Hour				
	Entering	15 veh	18 veh	+3 trips
	Exiting	<u>39 veh</u>	<u>48 veh</u>	<u>+9 trips</u>
	Total	54 trips	66 trips	+12 trips

¹ ITE Land Use Code 150 - Warehousing (Trip Equation Method)

All vehicle-trips associated with the proposed building expansion will be “primary” type trips, or new trips to the area.

¹ Institute of Transportation Engineers, *Trip Generation*, 10th Edition (Washington, D.C., 2017)



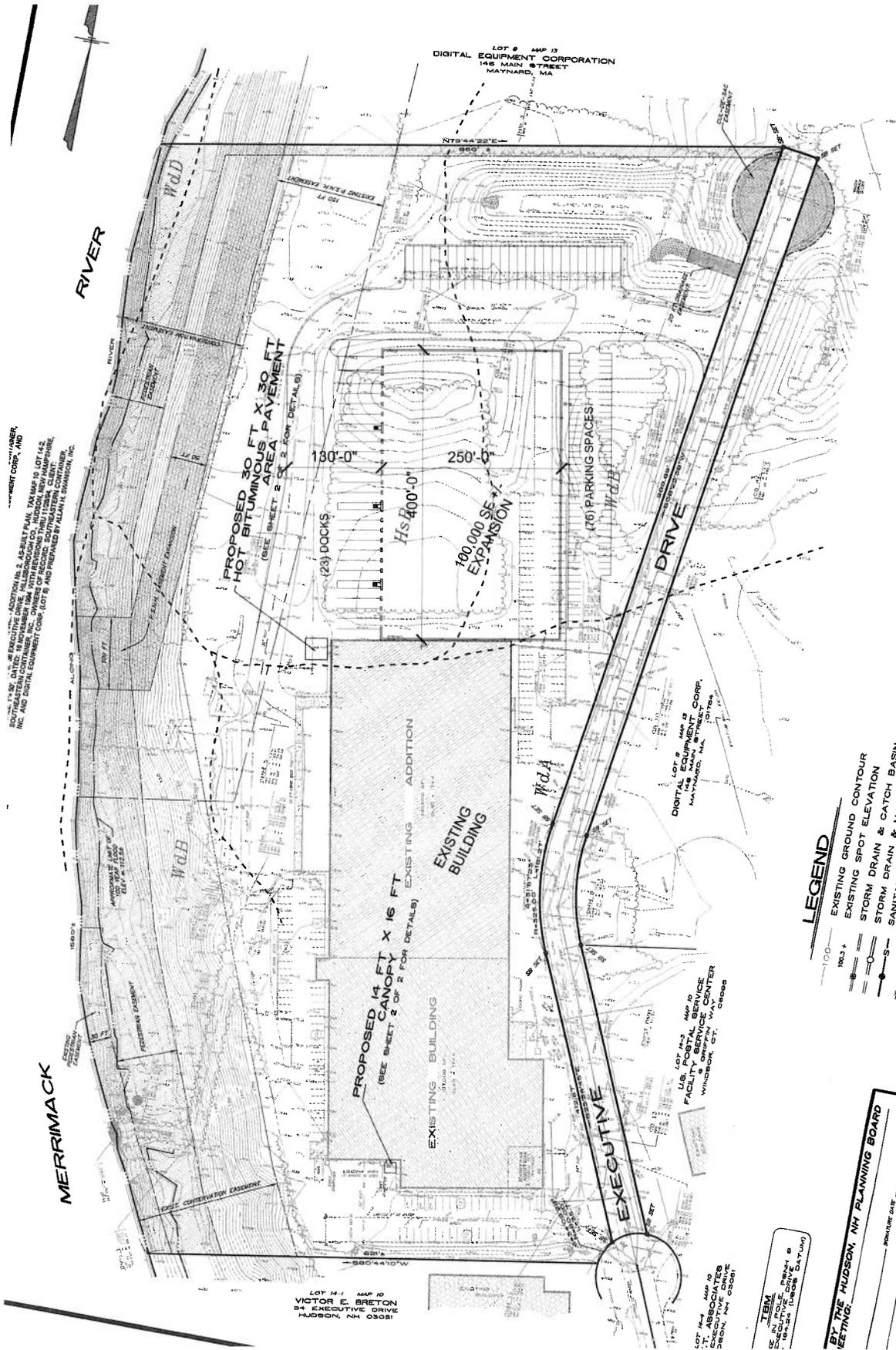
Findings & Conclusions

1. Traffic counts conducted by the NHDOT in August 2017 on Lowell Road (NH3A) revealed that the section south of Pelham Road (north of the industrial park area) carried approximately 25,600 vehicles per day. The section south Wason Road (south of the industrial park area) carried approximately 39,700 vehicles per day. At both count stations the highest hourly traffic volumes occurring from 7:00 to 8:00 AM or 8:00 to 9:00 AM and from 5:00 to 6:00 PM on weekdays.
2. According to the trip generation equations published by ITE, the proposed expansion project will generate approximately +12 additional vehicle-trips (10 arrivals, 2 departures) during the AM peak hour period and +12 additional vehicle-trips (3 arrivals, 9 departures) during the PM peak hour period when compared with the existing facility. This translates into approximately one additional vehicle every five minutes during the worst-case peak hour periods.
3. Traffic increases of this order of magnitude, when split between the three access points to the industrial park area, and again between points north and south on Lowell Road, will not significantly impact traffic operations at nearby intersections.

Attachments



ATTACHMENTS



ADDITION No. 2, ASHLEY & SAK, TOWN OF MERRIMACK, NH. THE ABOVE DESCRIBED PROPERTY IS PART OF THE 100,000 SQ. FT. EXPANSION OF THE 36 EXECUTIVE DRIVE, MERRIMACK, NH. THE PROPERTY IS OWNED BY DIGITAL EQUIPMENT CORPORATION, 148 MAIN STREET, MAYNARD, MA. THE PLAN IS PREPARED BY COLMAN H. SWANSON, INC., 100 W. MAIN STREET, MERRIMACK, NH. 03001.

LOT 14.1 MAP 10
VICTOR E. BRETON
36 EXECUTIVE DRIVE
HUDSON, NH 03051

LOT 9 MAP 13
DIGITAL EQUIPMENT CORPORATION
148 MAIN STREET
MAYNARD, MA 01901

LOT 9 MAP 13
DIGITAL EQUIPMENT CORPORATION
148 MAIN STREET
MAYNARD, MA 01901

LEGEND

- 100 --- EXISTING GROUND CONTOUR
- 103.3 + --- EXISTING SPOT ELEVATION
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & CATCH BASIN
- SANITARY

BY THE HUDSON, NH PLANNING BOARD
MEETING: _____
SPONSOR: _____

SEAL
T. T. ASSOCIATES
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 10000 (GATEWAY)



Transportation Data Management System

List View All DIRs

Record	3200 of 5743	Goto Record	go
Location ID	82229073	MPO ID	
Type	SPOT	HPMS ID	
On NHS	Yes	On HPMS	Yes
LRS ID	S0000003A_	LRS Loc Pt.	
SF Group	04	Route Type	
AF Group	04	Route	NH 3A
GF Group	E	Active	Yes
Class Dist Grp	Default	Category	3
Seas Class Grp	Default		
WIM Group	Default		
QC Group	Default		
Funct'l Class	Other Principal Arterial	Milepost	
Located On	Lowell Rd		
Loc On Alias	NH 3A (LOWELL RD) SOUTH OF PELHAM RD		
More Detail			
STATION DATA			

Directions: 2-WAY

AA DT

Year	AA DT	DHV-30	K %	D %	PA	BC	Src
2019	22,972 ³		9		21,042 (92%)	1,930 (8%)	Grown from 2018
2018	22,700 ³		9		20,929 (92%)	1,771 (8%)	Grown from 2017
2017	22,255	1,958	9		20,653 (93%)	1,602 (7%)	
2016	22,063 ³				20,122 (91%)	1,941 (9%)	Grown from 2015
2015	21,630 ³						Grown from 2014

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Travel Demand Model										
Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV	

VOLUME COUNT			
	Date	Int	Total
	Thu 8/17/2017	60	25,944
	Wed 8/16/2017	60	25,637
	Tue 8/15/2017	60	25,098
	Sat 8/23/2014	60	21,274
	Fri 8/22/2014	60	25,465
	Thu 8/21/2014	60	25,227
	Wed 8/20/2014	60	24,823
	Tue 8/19/2014	60	24,430
	Mon 8/18/2014	60	23,915
	Sun 8/7/2011	60	17,983

VOLUME TREND	
Year	Annual Growth
2019	1%
2018	2%
2017	1%
2016	2%
2015	3%
2014	-2%
2011	0%
2008	-1%
2005	-1%
2001	0%

1-10 of 53



Transportation Data Management System



Excel Version

Weekly Volume Report			
Location ID:	82229073	Type:	SPOT
Located On:	Lowell Rd	:	
Direction:	2-WAY		
Community:	HUDSON	Period:	Mon 8/14/2017 - Sun 8/20/2017
AADT:	22255		

Start Time	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Avg	Graph
12:00 AM		122	120	166				136	0.5%
1:00 AM		69	54	78				67	0.3%
2:00 AM		87	67	89				81	0.3%
3:00 AM		81	75	75				77	0.3%
4:00 AM		281	263	275				273	1.1%
5:00 AM		914	933	900				916	3.6%
6:00 AM		1212	1228	1227				1,222	4.8%
7:00 AM		1416	1453	1481				1,450	5.7%
8:00 AM		1477	1501	1419				1,466	5.7%
9:00 AM		1329	1295	1357				1,327	5.2%
10:00 AM		1358	1340	1383				1,360	5.3%
11:00 AM		1412	1413	1529				1,451	5.7%
12:00 PM		1514	1566	1608				1,563	6.1%
1:00 PM		1494	1475	1642				1,537	6.0%
2:00 PM		1645	1621	1593				1,620	6.3%
3:00 PM		1866	1820	1759				1,815	7.1%
4:00 PM		1829	1903	1821				1,851	7.2%
5:00 PM		1869	1958	1835				1,887	7.4%
6:00 PM		1615	1605	1732				1,651	6.5%
7:00 PM		1207	1353	1379				1,313	5.1%
8:00 PM		984	1043	1079				1,035	4.1%
9:00 PM		687	734	724				715	2.8%
10:00 PM		391	536	470				466	1.8%
11:00 PM		239	281	323				281	1.1%
Total	0	25,098	25,637	25,944	0	0	0		
24hr Total		25098	25637	25944				25,560	
AM Pk Hr		8:00	8:00	11:00					
AM Peak		1477	1501	1529				1,502	
PM Pk Hr		5:00	5:00	5:00					
PM Peak		1869	1958	1835				1,887	
% Pk Hr		7.45%	7.64%	7.07%				7.39%	



Transportation Data Management System

List View All DIRs

Record	3171 of 5743	Goto Record	<input type="text" value="go"/>
Location ID	82229039	MPO ID	
Type	SPOT	HPMS ID	
On NHS	Yes	On HPMS	Yes
LRS ID	S0000003A_	LRS Loc Pt.	
SF Group	04	Route Type	
AF Group	04	Route	NH 3A
GF Group	E	Active	Yes
Class Dist Grp	Default	Category	3
Seas Class Grp	Default		
WIM Group	Default		
QC Group	Default		
Funct'l Class	Other Principal Arterial	Milepost	
Located On	Lowell Rd		
Loc On Alias	NH 3A (LOWELL RD) SOUTH OF WASON RD		
More Detail			
STATION DATA			

Directions: 2-WAY NB SB

AAADT

Year	AAADT	DHV-30	K %	D %	PA	BC	Src
2019	35,671 ³		10	55	32,675 (92%)	2,996 (8%)	Grown from 2018
2018	35,248 ³		10	55	32,500 (92%)	2,748 (8%)	Grown from 2017
2017	34,557	3,428	10	55	32,067 (93%)	2,490 (7%)	
2016	32,569 ³				29,703 (91%)	2,866 (9%)	Grown from 2015
2015	31,930 ³						Grown from 2014

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Travel Demand Model										
Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV	

VOLUME COUNT			
	Date	Int	Total
	Thu 8/17/2017	60	39,774
	Wed 8/16/2017	60	39,950
	Tue 8/15/2017	60	39,326
	Thu 8/28/2014	60	39,835
	Wed 8/27/2014	60	36,171
	Tue 8/26/2014	60	33,711
	Mon 8/25/2014	60	35,438
	Sat 8/27/2011	60	32,659
	Fri 8/26/2011	60	43,492
	Thu 8/25/2011	60	40,794

VOLUME TREND	
Year	Annual Growth
2019	1%
2018	2%
2017	6%
2016	2%
2015	3%
2014	-4%
2011	1%
2008	2%
2005	0%
2001	7%

1-10 of 55



Transportation Data Management System



Excel Version

Weekly Volume Report			
Location ID:	82229039	Type:	SPOT
Located On:	Lowell Rd	:	
Direction:	2-WAY		
Community:	HUDSON	Period:	Mon 8/14/2017 - Sun 8/20/2017
AADT:	34557		

Start Time	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Avg	Graph
12:00 AM		159	195	218				191	0.5%
1:00 AM		114	91	111				105	0.3%
2:00 AM		111	99	116				109	0.3%
3:00 AM		123	120	119				121	0.3%
4:00 AM		369	332	363				355	0.9%
5:00 AM		1254	1282	1222				1,253	3.2%
6:00 AM		1842	1947	1897				1,895	4.8%
7:00 AM		2414	2462	2502				2,459	6.2%
8:00 AM		2275	2310	2306				2,297	5.8%
9:00 AM		2082	2001	2051				2,045	5.2%
10:00 AM		2048	2069	2054				2,057	5.2%
11:00 AM		2202	2207	2169				2,193	5.5%
12:00 PM		2412	2446	2432				2,430	6.1%
1:00 PM		2327	2350	2341				2,339	5.9%
2:00 PM		2530	2507	2517				2,518	6.3%
3:00 PM		3108	3062	3095				3,088	7.8%
4:00 PM		3251	3345	3324				3,307	8.3%
5:00 PM		3303	3428	3387				3,373	8.5%
6:00 PM		2494	2451	2459				2,468	6.2%
7:00 PM		1737	1833	1778				1,783	4.5%
8:00 PM		1423	1454	1465				1,447	3.6%
9:00 PM		890	955	914				920	2.3%
10:00 PM		514	638	582				578	1.5%
11:00 PM		344	366	352				354	0.9%
Total	0	39,326	39,950	39,774	0	0	0		
24hr Total		39326	39950	39774				39,683	
AM Pk Hr		7:00	7:00	7:00					
AM Peak		2414	2462	2502				2,459	
PM Pk Hr		5:00	5:00	5:00					
PM Peak		3303	3428	3387				3,373	
% Pk Hr		8.40%	8.58%	8.52%				8.50%	

Trip Generation Summary

Alternative: 36 Executive Drive Expansion

Phase: Existing Facility

Project: ██████████

Open Date: 4/15/2020

Analysis Date: 4/15/2020

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic					
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
150	WAREHOUSE 2		193	193	386		39	12	51		15	39	54
	215.2 1000 Sq. Ft. GFA												
	Unadjusted Volume		193	193	386		39	12	51		15	39	54
	Internal Capture Trips		0	0	0		0	0	0		0	0	0
	Pass-By Trips		0	0	0		0	0	0		0	0	0
	Volume Added to Adjacent Streets		193	193	386		39	12	51		15	39	54

Total Weekday Average Daily Trips Internal Capture = 0 Percent

Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

Trip Generation Summary

Alternative: 36 Executive Drive Expansion
 Phase: Expanded Facility
 Project: ~~XXXXXX~~

Open Date: 4/15/2020
 Analysis Date: 4/15/2020

ITE	Land Use	Weekday Average Daily Trips			Weekday AM Peak Hour of Adjacent Street Traffic			Weekday PM Peak Hour of Adjacent Street Traffic		
		* Enter	Exit	Total	* Enter	Exit	Total	* Enter	Exit	Total
150	WAREHOUSE 1	272	272	544	49	14	63	18	48	66
	315.2 1000 Sq. Ft. GFA									
	Unadjusted Volume	272	272	544	49	14	63	18	48	66
	Internal Capture Trips	0	0	0	0	0	0	0	0	0
	Pass-By Trips	0	0	0	0	0	0	0	0	0
	Volume Added to Adjacent Streets	272	272	544	49	14	63	18	48	66
Total Weekday Average Daily Trips Internal Capture = 0 Percent Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent										

* - Custom rate used for selected time period.



TOWN OF HUDSON

FIRE DEPARTMENT

39 FERRY STREET, HUDSON, NEW HAMPSHIRE 03051



Emergency 911
Business 603-886-6021
Fax 603-594-1164

Robert M. Buxton
Chief of Department

TO: Brian Groth
Town Planner

FR: Robert M. Buxton
Fire Chief

DT: June 16, 2020

RE: 36 Executive Drive (Map 215, Lot 4)

The following is a list of site plan concerns for this project. This review was completed utilizing plans submitted by Hayner Swansen, Inc.

1. Please provide the markings for fire apparatus access in accordance with **NFPA 1**.
2. Please provide three (3) hydrant maps signed by the Hudson Fire Department, the Hudson Water Company and the property owner. There shall be a hydrant flag and painting acceptable to the current Town of Hudson Engineering Department's specifications provided for all water supply appurtenances.

The Fire Department will request a hydrant located in the center of the new addition on the river side of the addition. Due to the size of the overall building we have concerns regarding the lack of a hydrant in this location.

3. Addressing will need to be obtained from the Hudson Fire Department prior to a building permit being issued.
4. The common driveway shall have a permanent sign approved by the Hudson Fire Department noting the addresses of the buildings that are accessed from that driveway. These signs shall be approved and installed before issuance of any building permits.
5. Please make sure that the proposed snow storage area shown on the plan in the area of the cistern is cut back to make sure access is maintained.

****The following life safety and fire protection concerns provided are for informational purposes to the applicant and Planning Board for this project. Final determinations on these issues occur after further review of the project.**

- A. The proposed building may require an approved sprinkler system. The Hudson Fire Department upon review of the building plans makes this determination. Further plan reviews will uncover those requirements.

- B. Any fire protection system shall be monitored by an approved fire alarm system. The fire alarm system shall be connected to the Hudson Fire Department's municipal fire alarm system or a substantially equivalent system in accordance with the **Hudson Town Code, Chapter 210**. A site plan detailing the aerial or underground layout to the municipal fire alarm connection must be provided before the utilities are completed for this project. Any required fire alarm system component must remain accessible and visible at all times.
- C. Will there be inside or outside storage above the exempt amounts of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in the **International Building Code, Sections 307, 414 or 415**?
- D. A blasting permit will be required for any blasting on the site in accordance with the **Hudson Town Code, Chapter 202**.
- E. All storage either inside or outside of hazardous materials, liquids or chemicals presenting a physical or health hazard as listed in **NFPA 1, Section 20.15.2.2** shall be in accordance with the applicable portions of the following:

- NFPA 13, Standard for the Installation of Sprinkler Systems**
- NFPA 30, Flammable and Combustible Liquids Code**
- NFPA 30B, Code for the Manufacture and Storage of Aerosol Products**
- NFPA 230, Standard for the Fire Protection of Storage**
- NFPA 430, Code for the Storage of Liquid and Solid Oxidizers**
- NFPA 432, Code for the Storage of Organic Peroxide Formulations**
- NFPA 434, Code for the Storage of Pesticides**

These are all of the Hudson Fire Department's concerns as of this time. If you have any further questions, please call me directly and thank you for your continued cooperation.

cc: Project Engineer
File

Groth, Brian

From: Dhima, Elvis
Sent: Thursday, July 16, 2020 4:08 PM
To: Dubowik, Brooke; Groth, Brian
Subject: RE: Sign Off - 36 Executive Dr. Building Addition

Brian / Brooke

Please find below my comments

1. Applicant shall provide a full traffic study, which will including expected vehicle type, size and travel routes throughout Hudson
2. Applicant shall provide information related to daily domestic water and sewer flows/demand
3. Applicant shall work with the Town water consultant to perform a water assessment related to domestic and fire protection
4. Applicant shall provide information related to proposed sewer, water and fire hydrants, if applicable

That's it for now

E

Elvis Dhima, P.E.
Town Engineer

Town of Hudson, NH
12 School Street
Hudson, NH 03051
Phone: (603) 886-6008
Mobile: (603) 318-8286



From: Dubowik, Brooke
Sent: Thursday, July 16, 2020 2:42 PM
To: Bianchi, Dave <dbianchi@hudsonnh.gov>; Buttrick, Bruce <bbuttrick@hudsonnh.gov>; Buxton, Robert <RBuxton@hudsonnh.gov>; Dhima, Elvis <edhima@hudsonnh.gov>; Forrence, Jess <jforrence@hudsonnh.gov>; Groth, Brian <bgroth@hudsonnh.gov>; Michaud, Jim <jmichaud@hudsonnh.gov>
Subject: Sign Off - 36 Executive Dr. Building Addition

Hello,
Attached is a sign off for a building addition @ 36 Executive Drive.
The Plans can be viewed using the files below (they are too large to attached to the email).
Please have your comments back no later than 7/24/20.
Thank you,

Brooke Dubowik
Planning Administrative Aide II



July 31, 2020

Mr. Brian Groth
Town Planner
Town of Hudson
12 School Street
Hudson, NH 03051

Re: Town of Hudson Planning Board Review
Proposed Building Addition Plan, 36 Executive Drive
Tax Map 215, Lot 9; Acct. #1350-952
Reference No. 03-0249.1940

Dear Mr. Groth:

Fuss & O'Neill, Inc. has reviewed the first submission of the materials received on July 14, 2020, related to the above-referenced project. Authorization to Proceed was received on July 17, 2020. A list of items reviewed is enclosed. The scope of our review is based on the Site Plan Review Codes, the recently adopted Stormwater Regulations, Driveway Review Codes, Sewer Use Ordinance 77, Zoning Regulations, and criteria outlined in the CLD Consulting Engineers Proposal approved September 16, 2003, revised September 20, 2004, June 4, 2007, September 3, 2008, and October 2015.

We have included a copy of Fuss & O'Neill's evaluation of the checklist for your reference. We note that several items could not be verified by Fuss & O'Neill and require action by the Town.

The project appears to consist of a 100,000 square foot building addition to an existing 208,960 square foot industrial building and associated site improvements. Proposed improvements to the site also include the addition of one driveway, parking areas, drainage improvements, landscaping, lighting and other associated site improvements. The proposed building addition will be serviced by existing Municipal water and proposed sewer connections.

The following items are noted:

1. Site Plan Review Codes and Administrative Requirements and Definitions

- a. Hudson Regulation (HR) 275-6.I. The scope of this review does not include the adequacy of any fire protection provisions for the building expansion. No proposed measures were included in Fuss & O'Neill's review package other than a proposed hydrant outside the building.
- b. HR 275-6.T.(1). The applicant has not proposed the installation of any off-site improvements.
- c. HR 275-8.C.(2) and ZO 334-15.A. The applicant has provided parking calculations showing that 515 spaces are required for the entire site and has provided 154 spaces. The applicant requested a waiver for parking spaces and has noted that based on the warehouse/distribution space use of the building they believe the proposed spaces to be

The Gateway Building
50 Commercial Street

Manchester, NH

03101

t 603.668.8223

800.286.2469

www.fando.com

California

Connecticut

Maine

Massachusetts

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Rhode Island

Vermont

Mr. Brian Groth

July 31, 2020

Page 2 of 5

adequate. On the waiver request form the applicant has noted that waiver request information was attached to the site plan application, however these documents were not included in the review package received by Fuss & O'Neill.

- d. HR 275-8.C.(6)(a). The applicant has proposed 41 loading spaces on the plan set. We note that this is more than is required for the building and they are proposed to be larger than the regulation requires.
- e. HR 275-8.C.(11). The applicant has stated that 6 handicapped spaces are proposed for the site. We note that only 4 are labeled on the plan set. The applicant should label the 2 existing spaces on the plan set.
- f. HR 276-11.1.B.(12) and Zoning Ordinance (ZO) 334-27. The applicant has not shown all setback lines on the plans.
- g. HR 276-11.1.B.(13) and ZO 334-60. The applicant has proposed traffic signs and handicapped parking signs within the site. No new business signs are proposed. The applicant should revise note 11 on sheet 1 to state that all signs are subject to approval by the Hudson Planning Board prior to installation thereof.
- h. HR 276-11.1.B.(20). The applicant has shown several existing easements on the plans and provided copies. No new easements are proposed.

2. Driveway Review Codes (HR 275-8.B. (34)/Chapter 193)

- a. HR 193.10.E. The applicant has noted the sight distances for the proposed driveway on the plan set.
- b. HR 193-10.G. The applicant is proposing to add one additional driveway to the existing three site driveways. This exceeds the two driveways allowed by the Regulation. The applicant should review the need for a waiver from the Regulation for this additional proposed driveway.

3. Traffic

- a. HR 275-9.B. The applicant has provided a Traffic Study for this project, which concluded that the proposed building addition should result in minimal impact on the adjacent street network given existing traffic volumes. We concur with these findings. No further Fuss & O'Neill comment.

4. Utility Design/Conflicts

- a. HR 275-9.E. and 276-13. The applicant appears to be adding a new sewer service connection to the sewer manhole southeast of the proposed addition. We note that it does not appear the applicant is proposing to connect this service to the building addition. The applicant should provide additional information about the intent for this connection and add a detail to the plan set for its construction.
- b. HR 275-9.E and 276-13. The applicant is not proposing any new water service or fire connections for the building addition. The applicant has stated that water, gas, electric and telecommunications utilities will be extended from the existing building.

Mr. Brian Groth

July 31, 2020

Page 3 of 5

- c. HR 275-9.E and 276-13. The applicant should include an installation detail in the plans for the proposed hydrant.

5. Drainage Design/Stormwater Management (HR 275-9.A./Chapter 290)

- a. HR 290-5.A.5. & 290-7.B.21. The applicant has proposed a 550% increase in the volume during the 2-year storm event at POA C. This location also has similar volume increases during all other storm events. There are increases in the peak flow for the 2-Year event at POA B, as well as the 2, 10, 25, and 50-Year storm events for peak flow at POA C. The applicant should discuss these increases with the Town Engineer and NHDES for their respective endorsements. If increases are proposed, the applicant should provide additional information detailed how the design does not negatively affect the downstream drainage systems.
- b. HR 290-5.A.11. The trench drains are shown connecting directly into the drainage system with an outlet into SMA "A". The applicant should provide information to illustrate how proper pre-treatment will be achieved prior to discharge into the treatment area.
- c. HR 290-5.B.2.(a). The applicant has noted within the AoT application that the project design exceeds the minimum stormwater treatment standards required by the EPA's MS4 Stormwater permit requirements.
- d. HR 290-6.A.8. The applicant should be prepared to coordinate a pre-construction meeting with the Town Engineer.
- e. HR 290-6.A. The applicant should list the disturbed area time requirement upon the plan set.
- f. HR 290-7.A.6. Test pit #3 is not located within the footprint of SMA "A", as required by NHDES standards.
- g. HR 290-7.A.6. The applicants Drainage Report calculations do not account for frozen ground conditions.
- h. HR 290-7.A.6. Infiltration rates of 6.5 and 9.75 inches per hour are utilized within the drainage calculations. The applicant should review Env-Wq 1504.14(c) to ensure the infiltration rate meets NHDES Stormwater requirements.
- i. HR 290-7.A.7. Due to the proximity of the Merrimack River, the applicant should keep the Town informed of any coordination with the Local River Advisory Committee (LAC) if required.
- j. HR 290-7.B.16. The applicant has noted on sheet 2 of 22 that snow removal is to be placed in open areas of the site as shown on sheet 3 of 10. This note should be corrected with the appropriate sheet number reference, and proposed snow storage locations should be shown on the plans.
- k. HR 290-10.A & B The applicant should keep the Town informed of all communication with NHDES in relation to the Alteration of Terrain and Wetlands Permits being requested to ensure NHDES comments do not alter drainage design/calculations.
- l. The scope of this review does not take into account any considerations associated with future climate change. While not currently required by the Regulations, if future precipitation/storm intensity increases are to be considered then additional comments/recommendations may be provided by Fuss & O'Neill.

Mr. Brian Groth

July 31, 2020

Page 4 of 5

6. Zoning (ZO 334)

- a. ZO 334-14.A. The applicant is proposing a building height that is less than the maximum allowed by the Ordinance and matches the height of the existing building.
- b. ZO 334-18.E. The applicant has noted that the subject parcel is located within the Town Industrial (I) zoning district. The warehouse/distribution use is permitted within this district.
- c. ZO 334-35.B.(2). The applicant has noted that no wetlands are located within the site; however the site does abut the Merrimack River. The applicant has shown the 200 foot Shoreland Protection Limit on the plan set. We note that no construction is proposed within this limit.
- d. ZO 334-83. The applicant has shown the 100 year flood limit on the plan set. No construction is proposed within this special flood hazard area.

7. Erosion Control/Wetland Impacts

- a. HR 290-5.A.(8). The applicant has noted that there are no wetlands present on the site. See comment 6.b above regarding wetlands.
- b. HR 290-5.K.(14). The applicant has not shown the location of any earth stockpiles on site; however, they have noted erosion control measures for any stockpiles on the Erosion Control Plan.
- c. HR 290-5.K.(15). The applicant has not shown the location of any equipment storage on site.
- d. The applicant has shown a temporary gravel construction exit on the site behind the addition. We note that the applicant should review the need to move this to the edge of the limit of construction at the rear of the building.
- e. The applicant has noted that the Town reserves the right to require additional erosion control measures if needed.

8. Landscaping (HR 276-11.1.B.(20)) and Lighting (HR 276-11.1.B.(14))

- a. The applicant has added landscaping around the proposed parking area in front of the site. We note that the existing parking areas do not include any proposed landscaping.

9. State and Local Permits (HR 275-9.G.)

- a. HR 275-9.G. The applicant has noted that a NPDES permit and preparation of a SWPPP will be required for this project.
- b. HR 275-9.G. The applicant has noted that a NHDES Alteration of Terrain permit is required for this site.
- c. HR 275-9.G. The applicant has not noted if a NHDES Wastewater connection permit will be required for this project.
- d. HR 275-9.G. The applicant did not provide copies of any applicable Town, State or Federal approvals or permits in the review package.
- e. Additional local permitting may be required.

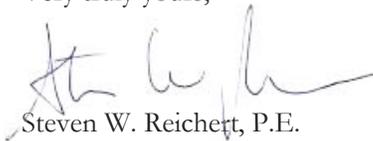
Mr. Brian Groth
July 31, 2020
Page 5 of 5

10. Other

- a. We have no other comments at this time.

Please feel free to call if you have any questions.

Very truly yours,



Steven W. Reichert, P.E.

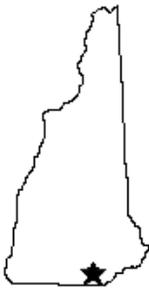
**Steven W.
Reichert, PE**

Digitally signed by Steven W. Reichert,
PE
DN: cn=Steven W. Reichert, PE, c=US,
o=Fuss & O'Neill, Inc., ou=Fuss &
O'Neill, Inc.,
email=sreichert@fando.com
Date: 2020.07.31 16:33:08 -0400

SWR:

Enclosure

cc: Town of Hudson Engineering Division – File
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062
jpetropulos@hayner-swanson.com



TOWN OF HUDSON

Planning Board

Timothy Malley, Chairman



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

CAP FEE WORKSHEET - 2020

Date: 09-09-20 Zone # 1 Map/Lot: 215/4
36 Executive Dr.
 Project Name: 36 Executive Drive Building Addition
 Proposed ITE Use #1: Industrial
 Proposed Building Area (net square footage): 7,500 S.F.

CAP FEES: (ONE CHECK NEEDED)

1. (Bank 09) 2070-702 Zone 1	Warehousing (100,000 s.f @ \$0.70)	<u>\$ 70,000.00</u>
Total:		<u>\$ 70,000.00</u>

Check should be made payable to the Town of Hudson.

Thank you,

Brian Groth
Town Planner

SITE PLAN APPLICATION

Date of Application: _____ Tax Map #: 215 Lot #: 4

Site Address: 36 Executive Drive, Hudson, NH

Name of Project: Proposed Building Addition

Zoning District: I - Industrial General SP#: _____
(For Town Use Only)

Z.B.A. Action: N/A

PROPERTY OWNER:

Name: NV Hudson Industrial, LLC

Address: 265 Franklin Street, Suite 1001

Address: Boston, MA 02110

Telephone # (617) 391-3590

Email: neddy@novayaventures.com

DEVELOPER:

(Same as owner)

PROJECT ENGINEER:

Name: Hayner/Swanson, Inc.

Address: 3 Congress Street

Address: Nashua, NH 03062

Telephone # (603) 882-2057

Email: eblatchford@hayner-swanson.com

SURVEYOR:

Hayner/Swanson, Inc.

3 Congress Street

Nashua, NH 03062

(603) 882-2057

dpollock@hayner-swanson.com

PURPOSE OF PLAN:

To show a proposed 1-story, 100,000 sf building addition with appurtenant parking, loading, and other site improvements.

(For Town Use Only)

Routing Date: _____ Deadline Date: _____ Meeting Date: _____

_____ I have no comments _____ I have comments (attach to form)

_____ Title: _____ Date: _____

(Initials)

Department:

Zoning: ___ Engineering: ___ Assessor: ___ Police: ___ Fire: ___ DPW: ___ Consultant: ___

SITE DATA SHEET

PLAN NAME: Proposed Building Addition

PLAN TYPE: SITE PLAN

LEGAL DESCRIPTION: MAP 215 LOT 4

DATE: 12 June 2020

Location by Street: 36 Executive Drive

Zoning: I – Industrial

Proposed Land Use: Manufacturing/Warehouse/Distribution

Existing Use: Manufacturing/Warehouse/Distribution

Surrounding Land Use(s): Commercial/Industrial

Number of Lots Occupied: One

Existing Area Covered by Building: 208,960 sf

Existing Buildings to be removed: N/A

Proposed Area Covered by Building: 308,960 sf

Open Space Proposed: 50.29%

Open Space Required: 35%

Total Area: S.F.: 1,125,700+/- Acres: 25.84+/-

Area in Wetland: N/A Area Steep Slopes: 6.23+/- acres

Required Lot Size: 30,000 sf (municipal water & sewer)

Existing Frontage: 1,617.4 LF

Required Frontage: 150 LF

Building Setbacks: Required* Proposed

Front: 50 ft 70 ft

Side: 15 ft 280 ft

Rear: 15 ft 390 ft

SITE DATA SHEET
(Continued)

Flood Zone Reference: FIRM Map 33011C0656D dated: 9/25/2009

Width of Driveways: 40 ft – 90 ft

Number of Curb Cuts: 3 existing, 1 proposed

Proposed Parking Spaces: 154

Required Parking Spaces: 514 (waiver requested)

Basis of Required Parking (Use): Manufacturing (1 space/600 sf)

Dates/Case #/Description/Stipulations
of ZBA, Conservation Commission,
NH Wetlands Board Actions: N/A
(Attach stipulations on separate sheet)

Waiver Requests

<i>Town Code Reference:</i>	<i>Regulation Description:</i>
<u>275-(8)(C)(2)</u>	<u>Required number of parking spaces</u>
_____	_____
_____	_____
_____	_____
_____	_____

(For Town Use Only)
Data Sheets Checked By: _____ Date: _____

SITE PLAN APPLICATION AUTHORIZATION

I hereby apply for Site Plan Review and acknowledge I will comply with all of the Ordinances of the Town of Hudson, New Hampshire State Laws, as well as any stipulations of the Planning Board, in development and construction of this project. I understand that if any of the items listed under the Site Plan specifications or application form are incomplete, the application will be considered rejected.

Pursuant to RSA 674:1-IV, the owner(s) by the filing of this application as indicated above, hereby given permission for any member of the Hudson Planning Board, the Town Planner, the Town Engineer, and such agents or employees of the Town or other persons as the Planning Board may authorize, to enter upon the property which is the subject of this application at all reasonable times for the purpose of such examinations, surveys, tests and inspections as may be appropriate. The owner(s) release(s) any claim to or right he/she (they) may now or hereafter possess against any of the above individuals as a result of any examinations, surveys, tests and/or inspections conducted on his/her (their) property in connection with this applications.

Signature of Owner:  Date: _____

Print Name of Owner: Jeff Theobald

- ❖ If other than an individual, indicate name of organization and its principal owner, partners, or corporate officers.

Signature of Developer:  Date: 6/11/2020

Print Name of Developer: Jeff Theobald, Manager, NV Hudson Industrial LLC

- ❖ The developer/individual in charge must have control over all project work and be available to the Code Enforcement Officer/Building Inspector during the construction phase of the project. The individual in charge of the project must notify the Code Enforcement Officer/Building Inspector within two (2) working days of any change.

WAIVER REQUEST FORM

Name of Subdivision/Site Plan: Proposed Building Addition

Street Address: 36 Executive Drive

I _____ hereby request that the Planning Board waive the requirements of item 275-(8)(C)(2) (required # of parking) of the Hudson Land Use Regulations in reference to a plan presented by Hayner/Swanson, Inc. _____ (name of surveyor and engineer) dated 12 June 2020 for property tax map(s) 215 and lot(s) 4 in the Town of Hudson, NH.

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n), i.e., without the Planning Board granting said waiver, it would pose an unnecessary hardship upon me (the applicant), and the granting of this waiver would not be contrary to the spirit and intent of the Land Use Regulations.

Hardship reason(s) for granting this waiver (if additional space is needed please attach the appropriate documentation hereto):
(See attached waiver request information.)

Reason(s) for granting this waiver, relative to not being contrary to the spirit and intent of the Land Use Regulations: (if additional space is needed please attach the appropriate documentation hereto):
(See attached waiver request information.)

Signed:



Applicant or Authorized Agent

WAIVER REQUEST #1:

Site Plan Regulation: Hudson Site Plan Regulation Chapter 275-8 C (2) – Required number of Parking Spaces.

Waiver Request: A waiver is requested from **Chapter 275-8 C (2)** in order to allow 154 parking spaces on a lot where 515 spaces are required per the regulation.

Basis of Waiver:

For Industrial lots, the Hudson Site Plan regulations parking requirement is: *one for each 600 square feet of gross floor space or 0.75 space per employee of the combined employment of the two largest consecutive shifts, whichever is larger.* Currently, the existing building measures 208,960 square feet and the site contains 132 parking spaces. The total number of employees is not known at this time, as most of the building is vacant. Historically the building has not required a lot of passenger car parking, as it had a large automated manufacturing space at the south end of the building, with a large warehouse/distribution space at the north end of the building. The proposed addition, which measures 100,000 square feet, will be primarily additional warehouse/distribution space, and will displace approximately 42 parking spaces currently located in the front and north side parking areas of the site. It is being proposed to replace and add to these spaces by constructing a new 64 space parking lot in front of the proposed addition. In calculating the required number of spaces, the larger amount per the Hudson Code is anticipated to be the 1 space per 600 square feet criteria which yields a requirement of 515 spaces. The proposed site plan shows a total of 154 car parking spaces being provided.

BAE's lease provides them with the 62 car parking spaces at the southerly end of the site. They have determined that this is sufficient for their parking needs. The owner/applicant has determined, based on their experience leasing warehouse space, that the proposed remaining 92 car parking spaces will be sufficient for the rest of the expanded building.

Waiver Request Form Standards

The hardship reason for granting this waiver is that there is simply no need for the number of car parking spaces required by the regulations. This type of property does not require large numbers of employees, and is much more oriented to warehouse and trucking operations.

Granting this waiver will not be contrary to the spirit and intent of the Town's Land Use Regulations because the spirit and intent of Chapter 275-8 C (2) is that adequate parking is provided for the intended use. As has been stated above, given the past history of this site and the experience of the owner/applicant in leasing industrial space, adequate parking is provided.

Chapter 276-7 Waivers

The requirements of Chapter 275-8 C (2) are unnecessary.

The purpose of Chapter 275-8 C (2) is to ensure adequate number of parking spaces are provided for a particular use. Given the above stated reasons, it is the owner/applicant's opinion that ample parking is provided for this business operation.

Granting the waiver will not violate the purposes or general standards of the Land Use Regulations.

This waiver will not violate the public safety purposes of Chapter 275-8 C (2), in that the plan represents good planning principles and is balanced with regard to parking, building and open spaces.

Granting the waiver shall result in a general benefit to the Town and surrounding properties.

Granting the waiver will support the owner/applicant's proposed building addition which will create new jobs, increase annual tax revenue, and is the type of development specifically contemplated by the Town's Master Plan. As a result, the waiver will result in a general benefit to the Town.

Conclusion:

When the Site Plan regulations are applied to this particular property, they impose unreasonable and egregious requirements with no benefit to the public. The property is a manufacturing and warehousing site with few visitors. The applicant knows their parking demands. Because the site plan calculations require two alternative calculations, there is an unnecessarily large parking requirement by one calculation.

This proposed site plan balances the needs of the community to enable growth and expansion in a safe and reasonable manner without imposing requirements that have no benefit under the circumstances.

SCHEDULE OF FEES

A. REVIEW FEES:

<u>1. Site Plan Use</u>	<u>Project Size/Fee</u>	
Multi-Family	\$105.00/unit for 3-50 units \$78.50/unit for each additional unit over 50	\$ _____
Commercial/Semi Public/Civic or Recreational	\$157.00/1,000 sq. ft. for first 100,000 sq.ft. (bldg. area): \$78.50/1,000 sq.ft. thereafter.	\$ _____
Industrial	\$150.00/1,000 sq.ft for first 100,000 sq.ft. (bldg. area); \$78.50/1,000 sq.ft thereafter.	\$ <u>15,000.00</u>
No Buildings	\$30.00 per 1,000 sq.ft. of proposed developed area	\$ _____

CONSULTANT REVIEW FEE: (Separate Check)

Total 7.0 acres @ \$600.00 per acre, or \$1,250.00, whichever is greater. \$ 4,200.00

This is an estimate for cost of consultant review. The fee is expected to cover the amount. A complex project may require additional funds. A simple project may result in a refund.

LEGAL FEE:

The applicant shall be charged attorney costs billed to the Town for the Town's attorney review of any application plan set documents.

(continued on next page)

SCHEDULE OF FEES
(Continued)

B. POSTAGE:

<u>6</u> Direct Abutters @\$4.10 (or Current Verified Mail Rate)	\$ <u>24.60</u>
<u>4</u> Indirect Abutters (property owners within 200 feet) @\$0.55 (or Current First Class Rate)	\$ <u>2.20</u>

C. ON SITE SIGNAGE: \$ 15.00

D. TAX MAP UPDATING FEE: (FLAT FEE) \$ 275.00

TOTAL \$ 19,516.80

(For Town Use)	
AMOUNT RECEIVED: \$ _____	DATE RECEIVED: _____
RECEIPT NO.: _____	RECEIVED BY: _____

NOTE: fees below apply only upon plan approval, not collected at time of application.

E. RECORDING FEES:

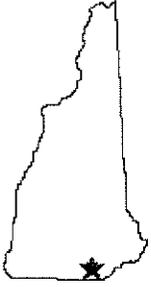
The applicant shall pay the costs of recording the final site plan layout prior to final site plan approval, in accordance with fees established by the County. Recording fees must be paid prior to recording.

Recording of Plan @ \$24.00/sheet + \$2.00/surcharge plan
 Land & Community Heritage Investment Program (LCHIP) fee @ \$25.00
 Easements/Agreements @ \$10.00/first sheet, \$4.00/each sheet thereafter +
 \$2.00/surcharge/doc. + First Class return postage rate

F. COST ALLOCATION PROCEDURE AMOUNT CONTRIBUTION AND OTHER IMPACT FEE PAYMENTS:

To be determined by the Planning Board at time of plan approval and shall be paid by the applicant at the time of submittal of the Certificate of Occupancy Permit requests.

*****The applicant shall be responsible for all fees incurred by the town for processing and review of the applicant's application, plan and related materials.*****



TOWN OF HUDSON

Land Use Division



12 School Street • Hudson, New Hampshire 03051 • Tel: 603-886-6008 • Fax: 603-594-1142

Zoning Determination #20-064

June 18, 2020

Nick Eddy
NV Hudson Industrial
265 Franklin St.
Ste. 1001
Boston, MA 02110

Re: **36 Executive Drive Map 215 Lot 007-000**
District: Industrial (I)

Dear Mr. Eddy,

Your request for zoning status/permitting requirements for a possible 100,000 sq ft warehouse/distribution addition has been completed.

Zoning Review / Determination:

The proposed use is a permitted principle or accessory use in the Industrial (I) district, and there would not be any Zoning Board of Adjustment action.

An amended site plan (review) would be required from the Planning Board for the addition. Please be mindful of building and wetland buffer setback requirements.

Sincerely,

Bruce Buttrick, MCP

Zoning Administrator/Code Enforcement Officer

(603) 816-1275

bbuttrick@hudsonnh.gov

cc: Public Folder
Owner
File

NOTE: this determination may be appealed to the Hudson Zoning Board of Adjustment within 30 days of the receipt of this letter.

#20-064



COMMUNITY DEVELOPMENT DEPARTMENT

12 School Street
Hudson, NH 03051
(603)886-6005
www.hudsonnh.gov



Town of Hudson

REQUEST FOR ZONING and/or PLANNING INFORMATION / DETERMINATION

Date of request 06/11/2020

Property Location 36 Executive Drive

Map 215 Lot 004-000

Zoning District if known I - Industrial

Type of Request

Zoning District Determination Use Determination Set-Back Requirements
 Process for Subdivision/ Site Plan if required
 Other

Description of request / determination: (Please attach all relevant documentation)

This request is for confirmation that the proposed 1-story, 100,000 sf building expansion to the existing 209,000 sf industrial building is an allowed use in the I - Industrial zone. The building addition will be used for manufacturing/warehouse/distribution. This use is similar to the prior use of the current building.

Applicant Contact Information:

Name: NV Hudson, Industrial, Attn: Nick Eddy
Address: 265 Franklin St., Ste. 1001, Boston, MA 02110
Phone Number: 617-391-3590

For Office use

ATTACHMENTS: TAX CARD GIS

NOTES: _____

ZONING DETERMINATION LETTER SENT DATE: _____



Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors

July 10, 2020

Job No. 3889-NVHI

Mr. Gene Porter, Chair
Lower Merrimack River Local Advisory Committee
77 Concord Street
Nashua, NH 03064

**RE: NHDES ALTERATION OF TERRAIN (AoT) APPLICATION
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE**

Dear Mr. Porter:

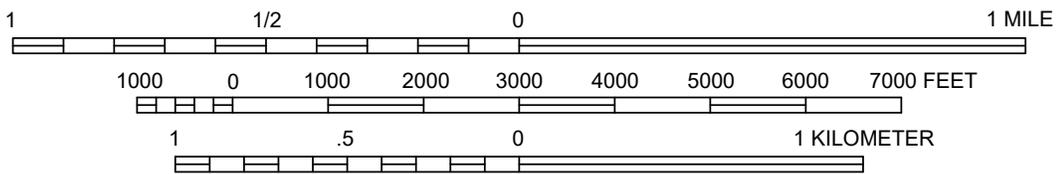
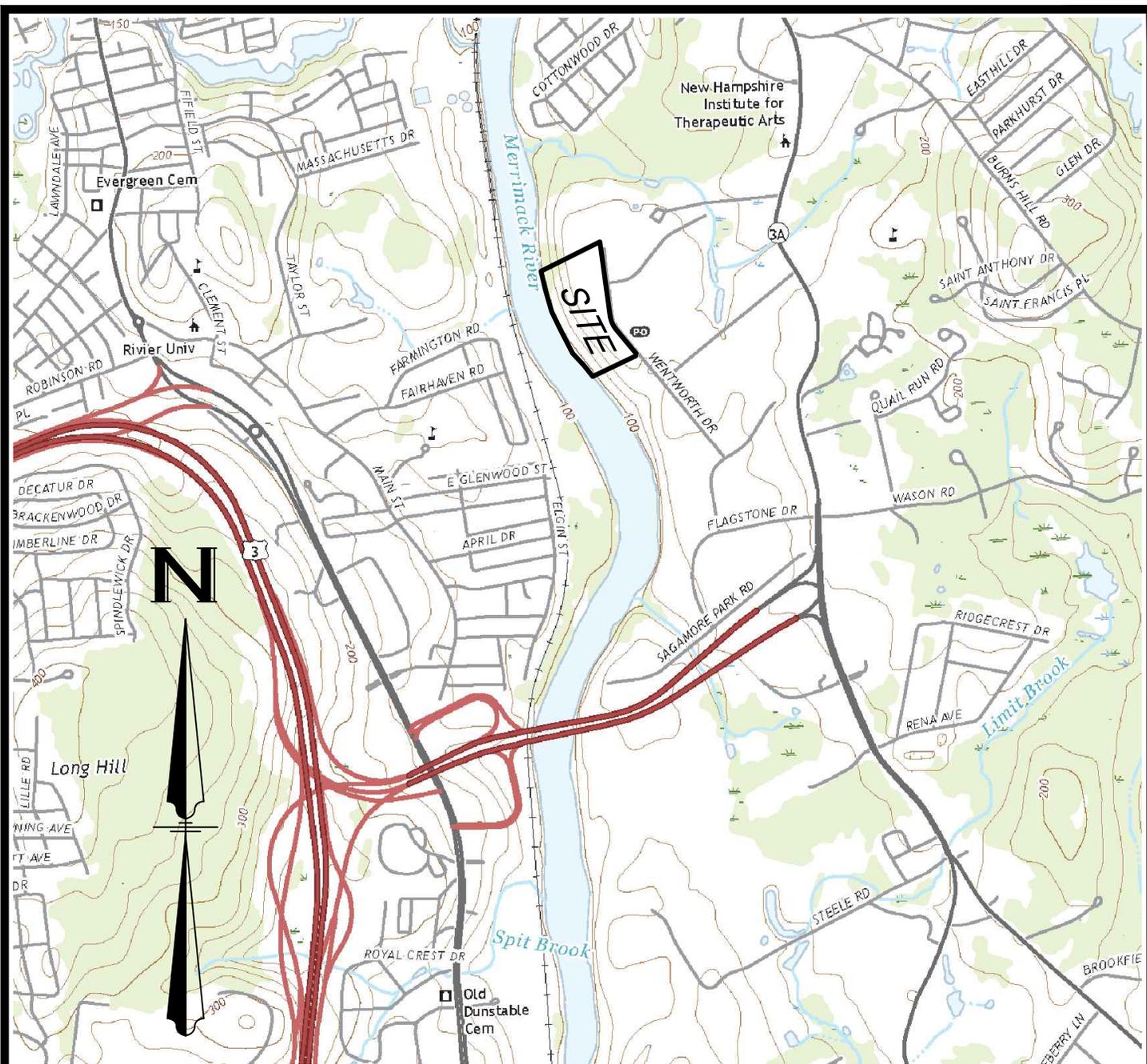
Please find enclosed a complete set of plans and supporting information for the above-referenced project. It is proposed to construct a 100,000 s.f. addition and associated site improvements on the northerly end of the existing 209,000 s.f. manufacturing/warehouse facility at the above-listed address (formerly the Southeastern Container facility). The total proposed area of disturbance is 283,000 square feet, therefore an NHDES Alteration of Terrain is required for the project. There is no new construction proposed within the 250-foot Shoreland Protection Buffer to the Merrimack River, therefore no NHDES Shoreland Protection Permit is required for this project.

The site is located within ¼ mile of the Merrimack River; therefore, we are providing a copy of the Site Plan and NHDES Alteration of Terrain Permit Application, which includes the Stormwater Management Report, for your review and comment. If you have any questions or need further information, please do not hesitate to contact our office.

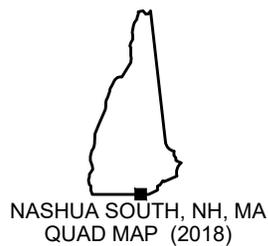
Sincerely,

Earle D. Blatchford
Senior Project Manager
Hayner/Swanson, Inc.

cc: Brian Groth, Hudson Planning Dept.



CONTOUR INTERVAL 20 FEET
 NORTH AMERICAN VERTICAL DATUM OF 1988



VICINITY PLAN
HIGH BAY BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NH

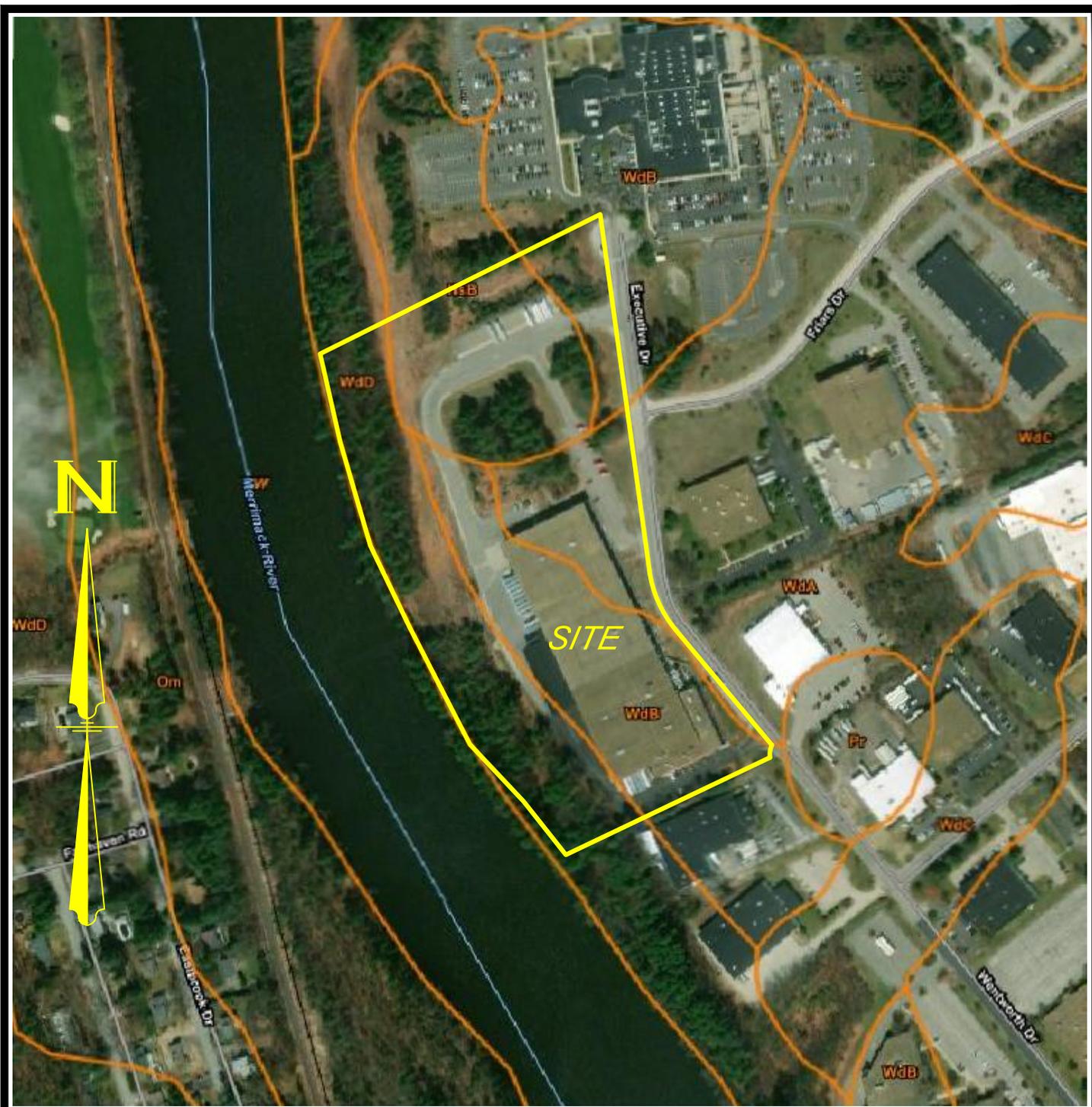
PREPARED FOR:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN ST, STE 1001, BOSTON, MA 02110
30 APRIL 2020

FIG. 1

HSI Hayner/Swanson, Inc.
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 3867-SITE USGS
 Location: J:\3000\3889\DWG\SITE

3889-NVH1
 File Number



SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPT. OF AGRICULTURE. WEB SOIL SURVEY. AVAILABLE ONLINE AT <http://websoilsurvey.nrcs.usda.gov/> ACCESSED APRIL 7, 2020.

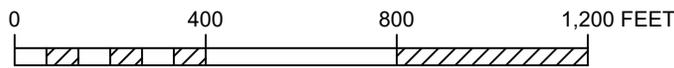
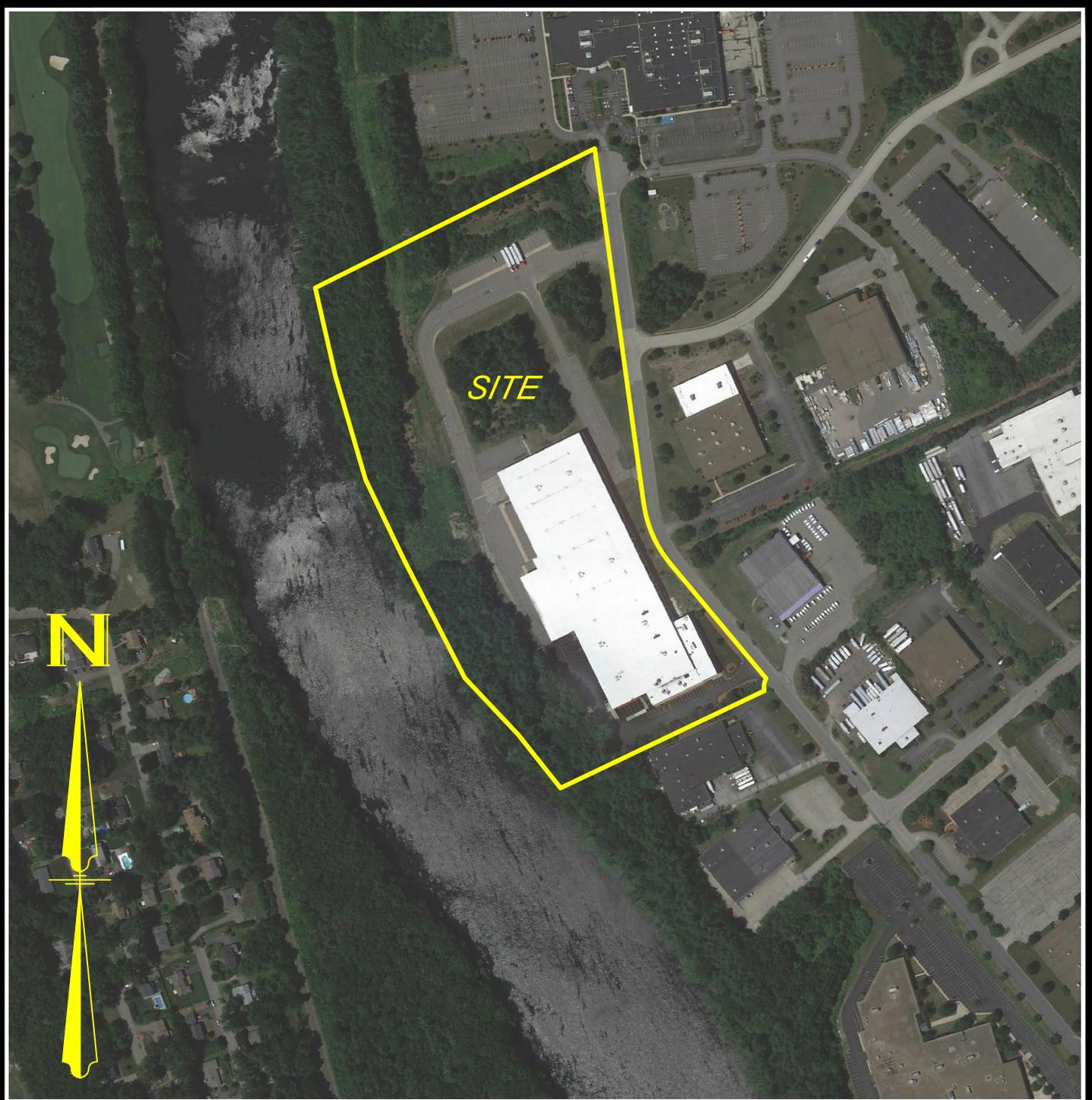
NRCS SOILS MAP
HIGH BAY BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NH

PREPARED FOR: FIG. 2
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN ST, STE 1001, BOSTON, MA 02110
30 APRIL 2020

HSI Hayner/Swanson, Inc.
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

Drawing: 3867-SITE USGS
 Location: J:\3000\3889\DWG\SITE

3889-NVH1
 File Number



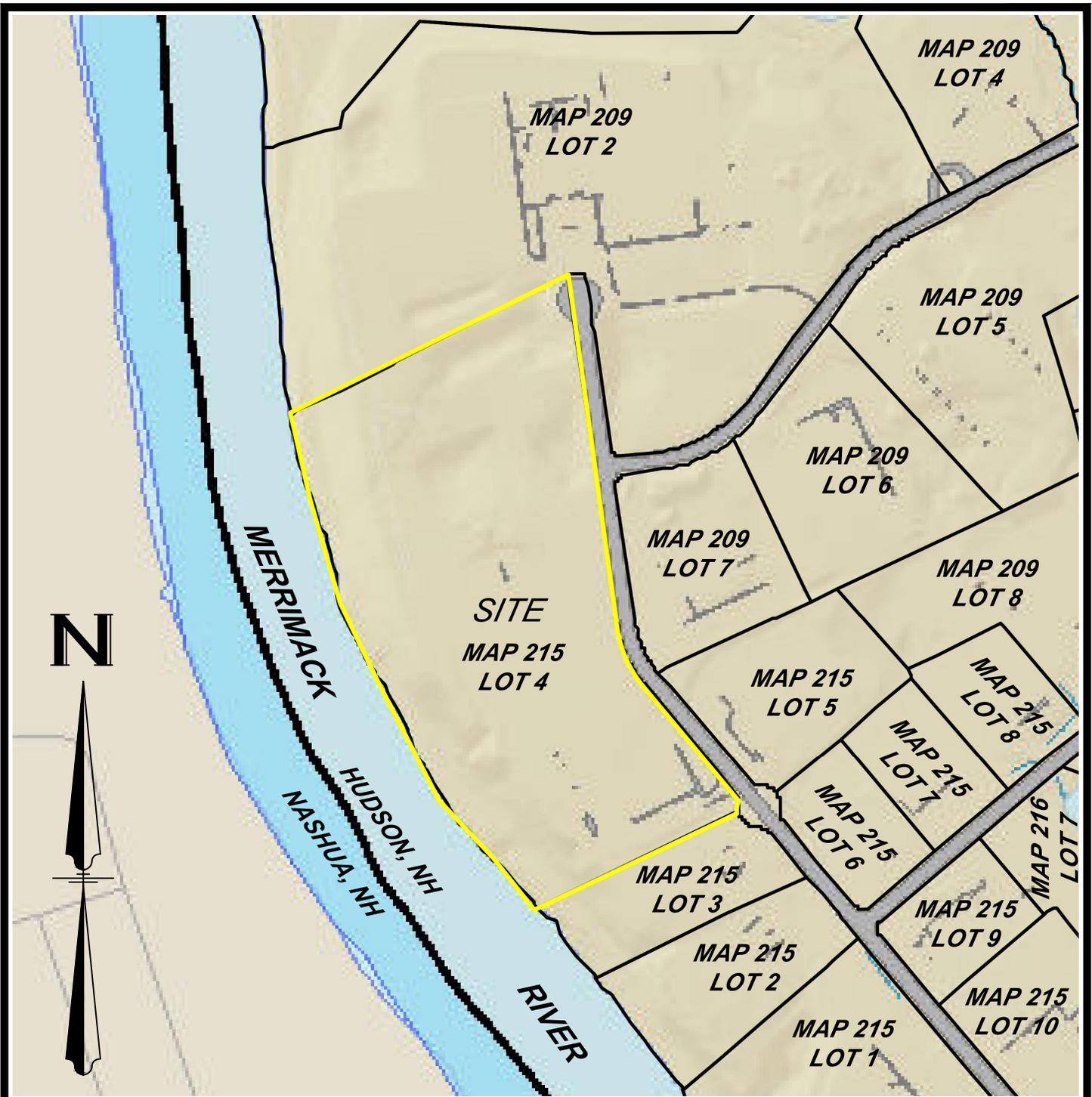
AERIAL DISPLAY PLAN
HIGH BAY BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NH

PREPARED FOR: FIG. 3
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN ST, STE 1001, BOSTON, MA 02110
30 APRIL 2020

 **Hayner/Swanson, Inc.**
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 3867-SITE USGS
 Location: J:\3000\3889\DWG\SITE

3889-NVH1
 File Number



TAX MAP DISPLAY
HIGH BAY BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NH

PREPARED FOR: FIG. 4
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN ST, STE 1001, BOSTON, MA 02110
 30 APRIL 2020

 **Hayner/Swanson, Inc.**
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com

Drawing: 3867-SITE USGS
 Location: J:\3000\3889\DWG\SITE

3889-NVH1
 File Number



Wetland Consulting Services

June 10, 2020

Mr. Earle Blatchford
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062-3399

WCS Job # Swan-671

RE: Site Specific Soil Map Report, 36 Executive Drive (Map10 Lot14-2), Hudson, NH

Dear Earle:

This report is intended to provide documentation for the site-specific soil mapping effort for the Southeastern Container, Inc. property located at 36 Executive Drive in Hudson, NH. The soil mapping effort was conducted on April 15, 2020. Eric Fontaine, a NH certified soil scientist (#86), assisted and reviewed the soil mapping effort.

The 25.8 acre site is occupied by a large approximately 200,000 sf buildings with associated parking. Areas of lawn are intermingled between the parking lots and the buildings. A stormwater detention lies at the northern end of the site. The Merrimac Rivers flows along the western side of the site but is well outside the project area. It is my understanding that the proposed project is to expand the northern side of the building. No jurisdictional wetland lie in or near this area.

Soil Mapping

Soil mapping standards followed the procedures described in the Site Specific Soil Mapping Standards for New Hampshire and Vermont (SSSMS), Special Publication No. 3, dated December 2006. Soil map units are based on the New Hampshire State-Wide Numerical Soils Legend, Issue #9, April 2010. These mapping standards are based on a recognized taxonomic system of soil classification established by the USDA National Cooperative Soil Survey. The SSSMS was developed by the Society of Soil Scientists of Northern New England in cooperation with the USDA Natural Resources Conservation Service. This mapping system was designed with the intent of providing local and state regulatory agencies with a consistent yet high quality soil mapping product which can be used for land use planning and to fulfill certain regulatory requirements.

The soil map units identified for Southeastern Container, Inc. property located at 36 Executive Drive in Hudson, NH (Map10 Lot14-2), are identified below using the New Hampshire State-Wide Numerical Soils Legend, Issue #9, April 2010:

Soil Type*	Soil Taxonomic Name	Slope	Drainage** Class	Hydrologic Group
26A	Windsor	0 to 3%	Ex	A
26B	Windsor	3 to 8%	Ex	A

*15 Bisson Lane, Merrimac, MA 01860
978-346-9857 • 978-346-7479 (FAX)*

26C	Windsor	8 to 15%	Ex	A
26D	Windsor	15 to 25%	Ex	A
313A	Deerfield	0 to 3%	Mw	B
313B	Deerfield	3 to 8%	Mw	B
300A/abcde*	Udipsammnets, smooth	0 to 3%	Ex/Ud	A/Ud
300B/abcde*	Udipsammnets, smooth	3 to 8%	Ex/Ud	AUd
300C/abcde*	Udipsammnets, smooth	8 to 15%	Ex/Ud	A/Ud
300D/abcde*	Udipsammnets, smooth	15 to 25%	Ex/Ud	A/Ud
300E/abcde*	Udipsammnets, smooth	25 to 50%	Ex	A
900A/P/abcde*	Endoaquent, sandy	0 to 3%	P	C

*For a Disturbed Soil (e.g. 300 series), the lower case letter refers to:

a = Drainage Class, b = Parent Material, c = Restrictive/Impervious layer, d = Estimated Ksat, e = Hydrologic Soil Group (also see Appendix A from report).

**Ex = excessively well drained; Mw = moderately well drained; P = poorly drained; Ud = undetermined

Soil map unit descriptions for each of the listed soil types are described below. Percent of each mapped unit composed of inclusions are noted where applicable.

26 Windsor loamy sand consists of excessively drained, rapidly permeable areas composed of mostly sand that formed in sandy glacial outwash. These soils exist as upland forest dominated with a mix of white pine, red and white oak and red maple trees. Some small areas of paved and unpaved gravel roads or paths are also present in this soil series. Due to the highly permeable nature of these soils, they were assigned to hydrologic group A.

26A	Windsor Loamy sand	slope: 0 to 3%
26B	Windsor Loamy sand	slope: 3 to 8%
26C	Windsor Loamy sand	slope: 8 to 15%
26D	Windsor Loamy sand	slope: 15 to 25%

300/abcde* Udipsammnets, smooth, 0% to 3% slope, consist of areas that are developed or otherwise landscaped mostly as lawn. A one story structure surrounded by paved parking dominates this soil type. Due to the presence of the building and parking areas, some soils could not be examined, so the drainage class could not be determined. The lawn areas were mostly graded over mostly Windsor soils and so were placed in Hydrologic Group A.

300A	Udipsammnets, smooth	slope: 0 to 3%
300B	Udipsammnets, smooth	slope: 3 to 8%
300C	Udipsammnets, smooth	slope: 8 to 15%
300D	Udipsammnets, smooth	slope: 15 to 25%
300E	Udipsammnets, smooth	slope: 25 to 50%

*A description of the 5 lower case letters is found in Appendix A.

313 Deerfield loamy sand, 0 to 3% slope, consists of mostly level, moderately well drained soil formed in glacial sandy outwash plains. The surface is free of stones. All of this area exists as upland forest vegetated mostly with white pine, red and white oak and red maple trees. This soil has a high soil permeability but the seasonal high water table exists between 3' and 4' from the surface, so it was placed in Hydrologic group B.

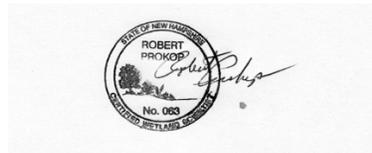
313A Deerfield loamy sand slope: 0 to 3%
313B Deerfield loamy sand slope: 3 to 8%

900A/P* Endoaquents, sandy, 0 to 3% slope, consists of level, man-made poorly soils that were excavated into the water table. This soil type was confined to the detention basin located at the northern end of the site. Vegetation is sparse since no or little topsoil is present. One to two feet of standing water was present in this area at the time of the site visit, but will likely dry out over the course of the summer season. Due to the constant soil saturation, it was placed in Hydrologic group C.

*A description of the 5 lower case letters is found in Appendix

If you have any questions or if you require any clarification concerning the soil mapping, please contact me at (978) 346-9857.

Sincerely,
Wetland Consulting Services,



Robert Prokop
NH Certified Wetland Scientist (#063)/Wildlife Biologist

Appendix A

SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT Version 4.0 February 2011 SSSNNE Special Publication No. 3

Map Symbol Denominators for Disturbed Unit Supplements

The map symbols for Site-Specific Soil Mapping of disturbed soils in New Hampshire is a two part symbol with parts separated by a forward slash (/). The first part consists of the USDA-NRCS Disturbed Map Unit symbol from the NH State-Wide Numerical Soil Legend. The map symbol is composed of 1 to 3 digits followed by a capital letter designating slope. The second part consists of symbols of the SSSNNE NH Disturbed Soil Supplement to the Site Specific Soil Survey Standards, as detailed below. The disturbed map symbol is composed of 5 lower case letters. Thus a Site Specific map symbol for a map prepared for an AoT application would be formatted as follows:

400A/aaaaa

Supplemental Symbols. The five components of the Disturbed Soil Mapping Unit Supplement are as follows:

Symbol 1-a: Drainage Class

- a-Excessively Drained
- b-Somewhat Excessively Drained
- c-Well Drained
- d-Moderately Well Drained
- e-Somewhat Poorly Drained
- f-Poorly Drained
- g-Very Poorly Drained
- h-Not Determined

Symbol 2-b: Parent Material (of naturally formed soil only, if present)

- a-No natural soil within 60"
- b-Glaciofluvial Deposits (outwash/terraces of sand or sand and gravel)
- c-Glacial Till Material (active ice)
- d-Glaciolacustrine very fine sand and silt deposits (glacial lakes)
- e-Loamy/sandy over Silt/Clay deposits
- f-Marine Silt and Clay deposits (ocean waters)
- g-Alluvial Deposits (floodplains)
- h-Organic Materials-Fresh water Bogs, etc
- i- Organic Materials-Tidal Marsh

Symbol 3-c: Restrictive/Impervious Layers

a-None

b-Bouldery surface with more than 15% of the surface covered with boulders

c-Mineral restrictive layer(s) are present in the soil profile less than 40 inches below the soil surface such as hard pan, platy structure or clayey texture with consistence of at least firm (i.e. more than 20 newtons). For other examples of soil characteristics that qualify for restrictive layers, see “Soil Manual for Site evaluations in NH” 2nd Ed., (page 3-17, figure 3-14)

d-Bedrock in the soil profile; 0-20 inches

e-Bedrock in the soil profile; 20-60 inches

f-Areas where depth to bedrock is so variable that a single soil type cannot be applied, will be mapped as a complex of soil types

g-Subject to Flooding

h-Man-made impervious surface including pavement, concrete, or built-up surfaces (i.e. buildings) with no morphological restrictive layer within control section

Symbol 4-d: Estimated Ksat* (most limiting layer excluding symbol 3h above).

a- High.

b-Moderate

c-Low

d-Not determined

*See “Guidelines for Ksat Class Placement” in Chapter 3 of the Soil Survey Manual, USDA

Symbol 5-e: Hydrologic Soil Group*

a-Group A

b-Group B

c-Group C

d-Group D

e-Not determined

*excluding man-made surface impervious/restrictive layers

MAP 215, LOT 4
SITE PLAN

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE 03051

INDEX OF PLANS

SHEET No.	TITLE	
1 OF 22	MASTER SITE PLAN	1" = 80'
2 OF 22	MASTER SITE PLAN - NOTES	
3-4 OF 22	EXISTING CONDITIONS PLAN	1" = 50'
5-6 OF 22	SITE DEMOLITION PLAN	1" = 30'
7-8 OF 22	SITE GRADING & UTILITY PLAN	1" = 30'
9-10 OF 22	SITE LAYOUT PLAN	1" = 30'
11 OF 22	EROSION CONTROL PLAN	1" = 40'
12 OF 22	DETAIL SHEET - EROSION CONTROL	
13-14 OF 22	UTILITY PROFILES	1" = 20' H 1" = 4' V
15-18 OF 22	DETAIL SHEET - GENERAL SITE	
19 OF 22	LANDSCAPE PLAN	1" = 40'
20 OF 22	DETAIL SHEET - LANDSCAPE	
21 OF 22	PHOTOMETRIC LIGHTING PLAN	1" = 40'
22 OF 22	SITE PLAN DETAILS	
BUILDING ELEVATIONS		

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

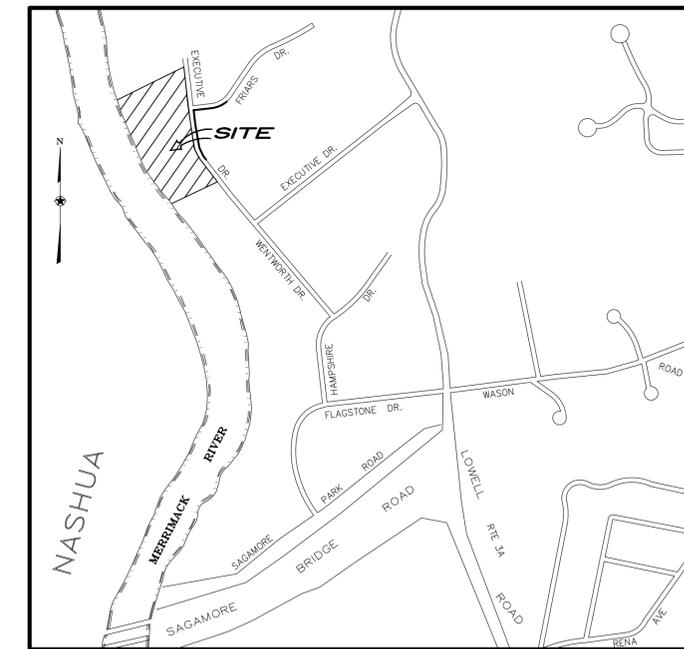
PREPARED FOR/RECORD OWNER

NV HUDSON INDUSTRIAL, LLC

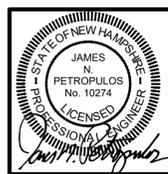
265 FRANKLIN STREET, SUITE 1001
BOSTON, MASSACHUSETTS 02110
(617) 391-3590

12 JUNE 2020

No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB



VICINITY PLAN
SCALE: 1" = 1,000'



HSI Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
131 Middlesex Turnpike
Burlington, MA 01803
(781) 203-1501
www.hayner-swanson.com





ADDITIONAL ABUTTERS (ACROSS RIVER IN NASHUA):

MAP 'A' LOTS 73 & 867
RIVERVIEW LANDING, LLC
21 CONTINENTAL BLVD
MERRIMACK, NH 03054
BK 8221, PG 161

MAP 22, LOT 7
BOSTON & MAINE CORP
C/O GUILFORD TRANSPORTATION INC.
IRON HORSE PARK
NORTH BILLERICA, MA 01862

MAP 'A' LOTS 891 & 1001
PAUL J. PENNELL
70 FARMINGTON ROAD
NASHUA, NH 03060-5306
BK 5883, PG 277

MAP 116, LOT 1
NASHUA DEVELOPMENT CO.
C/O HAMBLET & KEMGAN
20 TRAFALGAR SQUARE, SUITE 505
NASHUA, NH 03063-1981
BK 733, PG 170

ZONING NOTE

THE ZONING/BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/TOWNSHIP TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

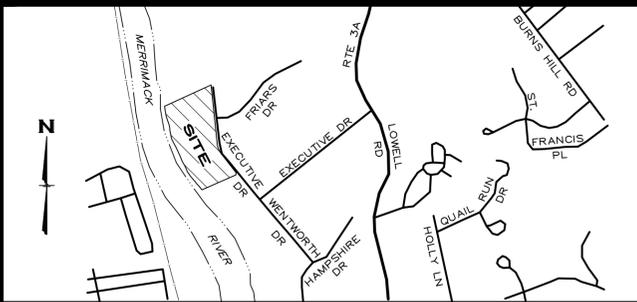
RIPARIAN NOTE:

THE PORTION OF THE MERRIMACK RIVER DEPICTED ON THIS PLAN, IS IDENTIFIED ON THE OFFICIAL LIST OF PUBLIC WATERS PURSUANT TO RSA 271:201 AND ALSO ON THE NHDES LIST OF WATERBODIES SUBJECT TO RSA 483-B, THE SHORELAND WATER QUALITY PROTECTION ACT (SWQPA).

UNDER THE PUBLIC TRUST DOCTRINE THE STATE HOLDS RIGHTS FOR USE BY THE PUBLIC OF THE WATER WAY FOR THE PEOPLE OF NEW HAMPSHIRE.

FOR THE PURPOSE OF THIS SURVEY THE MEAN HIGH WATER LINE OF THE MERRIMACK RIVER WAS HELD FOR COMPUTING LAND AREAS. THE UNDERLYING FEE OWNERSHIP FOR THE MERRIMACK RIVER IS NOT DETERMINED BY THIS SURVEY. OWNERSHIP MAY EXTEND TO CENTERLINE AS DEFINED BY COMMON LAW.

THE JURISDICTIONAL LINE BETWEEN THE TOWN OF HUDSON AND THE CITY OF NASHUA IS DEFINED BY THE CENTERLINE OF THE MERRIMACK RIVER.



VICINITY MAP SCALE: 1" = 1,500' ±

NOTES:

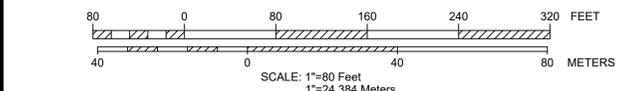
- LOT AREA: (MAP 215, LOT 4) 25.84+/- ACRES (1,125,700+/- SF)
- PRESENT ZONING: I; INDUSTRIAL
MINIMUM LOT REQUIREMENTS:
- LOT AREA 30,000 SF
- LOT FRONTAGE 150 FT
MINIMUM BUILDING SETBACKS REQUIREMENTS:
- FRONT YARD 50 FT
- SIDE YARD 15 FT
- REAR YARD 15 FT
- LOT NUMBERS REFER TO THE TOWN OF HUDSON ASSESSORS MAPS 209 AND 215.
SITE IS CURRENTLY SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER, GAS AND OVERHEAD ELECTRIC AND TELECOMMUNICATION UTILITIES.
- PURPOSE OF PLAN:
TO SHOW A PROPOSED 1-STORY, 100,000 SF HIGH BAY BUILDING ADDITION ALONG WITH ACCOMPANYING LOADING, PARKING, AND SITE IMPROVEMENTS.
- BUILDING AREA:
EXISTING BUILDING 208,960 SF
PROPOSED ADDITION 100,000 SF
TOTAL BUILDING AREA 308,960 SF
- PARKING:
REQUIRED: 1 SPACE/600 SF x 308,960 SF (INDUSTRIAL) = 515 SPACES
PROVIDED: (INCLUDES 6 ACCESSIBLE SPACES) = 154 SPACES (WAIVER REQUESTED)
- LOADING:
REQUIRED: 32 SPACES
PROPOSED: 41 SPACES
- OPEN SPACE:
REQUIRED: 35%
PROVIDED: 50.29%
- THE SUBJECT SITE WAS INSPECTED BY A CERTIFIED WETLAND SCIENTIST ON APRIL 15, 2020 AND WAS DETERMINED THAT, AT THE DATE OF INSPECTION, THERE ARE NO WETLANDS OR ASSOCIATED BUFFERS AFFECTING THE PROPOSED WORK AREA ON THIS PROPERTY.
- ALL SIGNS ARE SUBJECT TO ALL REQUIREMENTS OF THE ZONING ORDINANCE AS DETERMINED DURING THE SIGN PERMIT APPLICATION PROCESS. ALL SIGNS ARE SUBJECT TO APPROVAL BY THE HUDSON PLANNING BOARD PRIOR TO INSTALLATION.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (LATEST EDITION).
- SITE LIGHTING SHALL BE SHOWN ON THE PLAN, DIRECTED ONTO THE SITE, AND SHALL CONFORM WITH ALL APPLICABLE TOWN OF HUDSON ZONING REGULATIONS.
- IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE OR USE SHOWN ON THIS SITE PLAN WITH THE EXCEPTION OF DECKS AND PORCHES (PROVIDED THEY CONFORM WITH THE REQUIREMENTS OF THE TOWN OF HUDSON ZONING BY-LAWS), OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE TOWN OF HUDSON PLANNING BOARD.
- TRASH PICK-UP SHALL NOT OCCUR EARLIER THAN 7:00 AM NOR LATER THAN 7:00 PM, MONDAY THRU SATURDAY ONLY.
- HOURS OF OPERATION: MONDAY - SATURDAY 24 HOURS (MULTIPLE SHIFTS).
THERE ARE NO HIGHWAY PROJECTS LISTED UPON THIS PROPERTY.

NOTES CONTINUED ON SHEET 2 OF 22

No.	DATE	TOWN AND NHDES COMMENTS	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

MASTER SITE PLAN (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

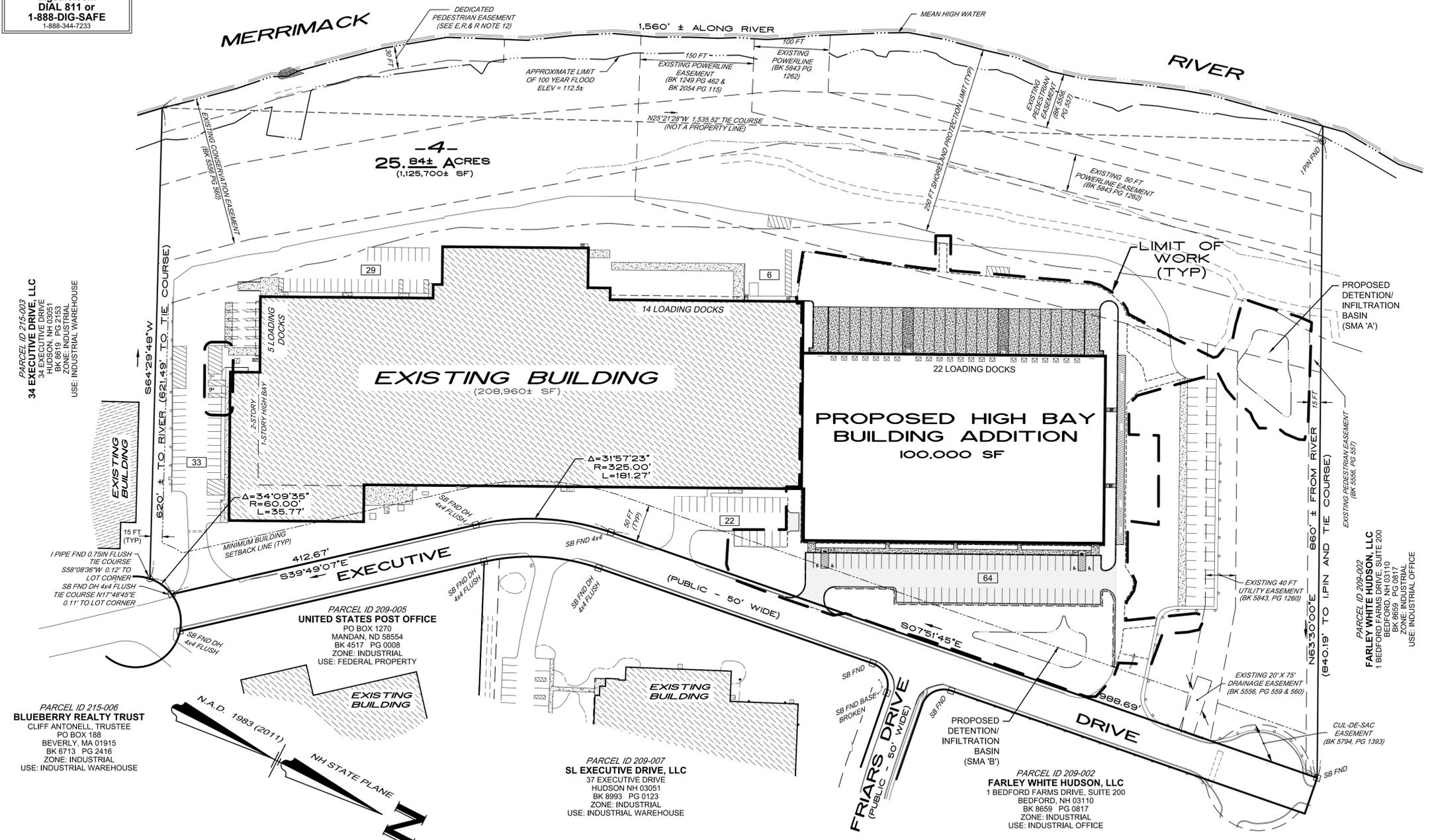


12 JUNE 2020



Civil Engineers/Land Surveyors
3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.haynerswanson.com

FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-F081	3889	1 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

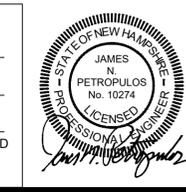


WAIVERS REQUESTED:
SPR 275 - 8C (2) REQUIRED PARKING SPACES
SPR 193-10.G ALLOWED CURB CUTS

PROPOSED DRIVEWAY SIGHT DISTANCES:
EXECUTIVE DRIVE: LOOKING NORTH - 720 FT* LOOKING SOUTH - 450+ FT
* TO END OF CUL-DE-SAC

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



CERTIFICATION
PURSUANT TO RSA 676:18, III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I FURTHER CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

FOR NV HUDSON INDUSTRIAL, LLC DATE: September 1, 2020
DENNIS C. POLLOCK, LLS

NOTES - CONT'D:

18. ALL FIRE LANE MARKINGS FOR FIRE APPARATUS SHALL CONFORM WITH NFPA 1 REQUIREMENTS.
19. ADDRESSING OF INDIVIDUAL TENANT SPACES WILL NEED TO BE OBTAINED FROM THE HUDSON FIRE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
20. COMMON DRIVES SHALL HAVE PERMANENT SIGNS APPROVED BY THE HUDSON FIRE DEPARTMENT AND CONFORMING WITH ZONING REQUIREMENTS. NOTING ADDRESSES OF TENANT SPACES ACCESSED FROM THAT DRIVEWAY. THESE SIGNS SHALL BE APPROVED AND INSTALLED PRIOR TO ISSUANCE OF BUILDING PERMIT.
21. CONSTRUCTION HOURS ARE MONDAY THRU SATURDAY, 7:00 AM TO 7:00 PM, WITH NO CONSTRUCTION ACTIVITIES OCCURRING ON SUNDAYS. IF LOT DEVELOPMENT INVOLVES BLASTING AND/OR RAMMING OF BEDROCK MATERIALS, SAID ACTIVITIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 5:00 PM, MONDAY THRU FRIDAY ONLY. SAID BLASTING/RAMMING ACTIVITIES SHALL BE PROHIBITED ON SATURDAYS AND SUNDAYS.
22. SHEET 1 AND 2 OF 22 SHALL BE RECORDED AT THE HILLSBOROUGH REGISTRY OF DEEDS. A COMPLETE SET OF PLANS SHALL BE ON FILE WITH THE TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT.
23. THE SUBJECT PARCEL APPEARS TO BE LOCATED WITHIN THE SPECIAL FLOOD HAZARD ZONE 'AE' AND ZONE 'X' AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP(FIRM), HILLSBOROUGH COUNTY, TOWN OF HUDSON, NH, COMMUNITY No. 330092, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33011C0652E, REVISED DATE: APRIL 18, 2011 AND MAP NUMBER: 33011C0656D, DATED: SEPTEMBER 25, 2009.
24. PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY A LICENSED LAND SURVEYOR CERTIFIED 'AS-BUILT' SITE PLAN SHALL BE PROVIDED TO TOWN OF HUDSON COMMUNITY DEVELOPMENT DEPARTMENT, CONFIRMING THAT THE SITE CONFORMS WITH THE PLANNING BOARD APPROVED SITE PLAN.
25. SNOW REMOVAL TO BE PLACED IN OPEN AREAS OF THE SITE AS SHOWN ON SHEETS 9 & 10 OF 22. IF NEEDED, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
26. A CAP FEE IN THE AMOUNT OF \$_____ SHALL BE PAID PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
27. THE DEVELOPMENT AGREEMENT FOR THIS PROJECT SHALL BE PLACED ON FILE WITH THE TOWN OF HUDSON PLANNING DEPARTMENT AND RECORDED AT THE HILLSBOROUGH COUNTY REGISTRY OF DEEDS. THE INSPECTION AND MAINTENANCE PLAN FOR STORMWATER SHALL BE INCLUDED IN THE DEVELOPMENT AGREEMENT.
28. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, CALCULATIONS SHALL BE PROVIDED TO THE TOWN ENGINEER REGARDING THE EXISTING WATER METER HANDLING THE ADDITIONAL DEMAND FROM THE PROPOSED ADDITION.
29. PRESENT OWNER OF RECORD:
MAP 215 LOT
 NV HUDSON INDUSTRIAL, LLC
 300 BAKER AVENUE, SUITE 180
 CONCORD, MA 01742
 BK. 5045, PG. 2116

PLAN REFERENCES:

1. PLAN OF LAND, 36 EXECUTIVE DRIVE, HUDSON, NH 03051, TAX MAP 215, LOT 4. PREPARED FOR: NOVAYA REAL ESTATE VENTURES, LLC. RECORD OWNER: SOUTHEASTERN CONTAINER, INC., SCALE: 1" = 50 FT, DATED: 12 JANUARY 2018, PREPARED BY: TAJ ENGINEERING, LLC. RECORDED: HCRD - PLAN No. 39570.
2. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 4, LOT 14-2, MAP 10, SITE PLAN, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH. PREPARED FOR/RECORD OWNER: SOUTHEASTERN CONTAINER, INC. SCALE: 1" = 80', DATED: 28 AUGUST 1997 WITH REVISIONS THRU 10/14/97 AND PREPARED BY THIS OFFICE. RECORDED: HCRD - PLAN No. 28870.
3. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, TAX MAP 10 LOT 14-2, TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH. PREPARED FOR: SOUTHEASTERN CONTAINER, INC. RECORD OWNERS: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. SCALE: 1" = 200', DATED: 1 MAY 1994 WITH REVISIONS THRU 08/01/94 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED: HCRD - PLAN No. 26916.
4. SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, SITE PLAN, TAX MAP 10 LOT 14-2, TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NH. PREPARED FOR: SOUTHEASTERN CONTAINER, INC. RECORD OWNERS: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. SCALE: 1" = 50', DATED: 1 MAY 1994 WITH REVISIONS THRU 06/01/94 AND PREPARED BY ALLAN H. SWANSON, INC. RECORDED: HCRD - PLAN No. 26915.
5. SITE PLAN, MAP 10, LOT 14-2, SOUTHEASTERN CONTAINER, INC., 36 EXECUTIVE DRIVE, HUDSON, NH, SCALE: 1" = 40', DATED: 12 MAY 1993 WITH REVISIONS THRU 05/24 AND PREPARED BY HOYLE, TANNER & ASSOCIATES, INC. CONSULTING ENGINEERS. RECORDED: HCRD - PLAN No. 26346.
6. SITE PLAN, LOT 14-2 / MAP 10, WENTWORTH DRIVE, HUDSON, NH. PREPARED FOR: PAUL VILLEMAIRE, KPV REALTY TRUST, SCALE: 1" = 40', DATED: MAY 1984 AND PREPARED BY MAYNARD & PAQUETTE INC. RECORDED: HCRD - PLAN No. 17063.
7. RESUBDIVISION PLAN, ROBERT ROBBINS & FERD CORP & UPACO ADHESIVES INC., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 100', DATED: 14 NOVEMBER 1973 WITH REVISIONS THRU 06/02/76 AND PREPARED BY THOMAS F. MORAN INC. RECORDED: HCRD - PLAN No. 9509.
8. AS-BUILT PLAN, SOUTHEASTERN CONTAINER, INC. - ADDITION No. 2, TAX MAP 10 LOT 14-2 AND TAX MAP 13 LOT 8, 36 EXECUTIVE DRIVE, HILLSBOROUGH CO., HUDSON, NEW HAMPSHIRE, SCALE: 1" = 50', DATED: 16 NOVEMBER 1984. CLIENT: SOUTHEASTERN CONTAINER, INC., RECORD OWNER: SOUTHEASTERN CONTAINER, INC. AND DIGITAL EQUIPMENT CORP. AND PREPARED BY ALLAN H. SWANSON, INC.

EASEMENTS, RIGHTS AND RESTRICTIONS:

1. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED FEBRUARY 28, 1950 AND RECORDED AT BK 1249, PG 462.
2. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED SEPTEMBER 11, 1969 AND RECORDED AT BK 2054, PG 115.
3. TERMS, COVENANTS AND CONDITIONS IN AGREEMENT WITH THE TOWN OF HUDSON, DATED JULY 30, 1976 AND RECORDED AT BK 2476, PG 771.
4. PROTECTIVE COVENANT STANDARDS FOR LAND KNOWN AS EXECUTIVE PARK, DATED MAY 3, 1979 AND RECORDED AT BK 2686, PAGE 256, AS AMENDED BY MODIFIED PROTECTIVE COVENANT STANDARDS FOR LAND KNOWN AS EXECUTIVE PARK, DATED NOVEMBER 9, 1979 AND RECORDED AT BK 2734, PG 704.
5. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 2, 1993 AND RECORDED AT BK 5439, PG 1519.
6. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 15, 1993 AND RECORDED AT BK 5461, PG 1135.
7. NOTICE OF APPROVAL ISSUED BY THE HUDSON ZONING BOARD OF ADJUSTMENT RE: VARIANCE, DATED FEBRUARY 24, 1994 AND RECORDED AT BK 5530, PG 1425.
8. NOTICE OF APPROVAL ISSUED BY THE HUDSON ZONING BOARD OF ADJUSTMENT RE: VARIANCE, DATED FEBRUARY 24, 1994 AND RECORDED AT BK 5530, PG 1429.
9. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 540.
10. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 545.
11. PEDESTRIAN EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 557.
12. PEDESTRIAN EASEMENT AS ORIGINALLY DEDICATED ON SITE PLAN, DATED MAY 1984 AND RECORDED AS PLAN No. 17063 AND SUBSEQUENTLY ON SUBDIVISION / CONSOLIDATION PLAN, DATED 01 MAY, 1994 AND RECORDED AS PLAN No. 26916. HOWEVER, NO RECORDED DOCUMENT FOUND MEMORIALIZING THIS EASEMENT.
13. DRAINAGE EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, 559.
14. CONSERVATION EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED JUNE 13, 1994 AND RECORDED AT BK 5556, PG 560.
15. EASEMENTS, RESTRICTIONS AND RIGHTS IN DEED FROM DIGITAL EQUIPMENT CORPORATION TO SOUTHEASTERN CONTAINER, INC., DATED JUNE 14, 1994 AND RECORDED AT BK 5556, PG 1875.
16. RECIPROCAL EASEMENT AGREEMENT BETWEEN DIGITAL EQUIPMENT CORPORATION AND SOUTHEASTERN CONTAINER, INC. DATED JUNE 17, 1994 AND RECORDED AT BK 5556, PG 1878.
17. DEED AND EASEMENT GRANTED TO THE TOWN OF HUDSON, DATED FEBRUARY 24, 1997 AND RECORDED AT BK 5734, PG 1393.
18. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 17, 1997 AND RECORDED AT BK 5843, PG 1260.
19. RIGHT AND EASEMENT GRANTED TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE, DATED JULY 17, 1997 AND RECORDED AT BK 5843, PG 1262.
20. DEVELOPMENT AGREEMENT WITH THE TOWN OF HUDSON, DATED OCTOBER 21, 1997 AND RECORDED AT BK 5864, PG 1604.
21. RIGHTS OF THE STATE OF NEW HAMPSHIRE, THE PUBLIC AND OTHERS IN AND TO THE WATER OF THE MERRIMACK RIVER AND THE NATURAL FLOW THEREOF, AND TO THAT PORTION OF THE PROPERTY LYING BELOW THE MEAN HIGHWATER MARK OF THE MERRIMACK RIVER.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

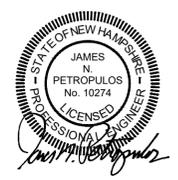
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

MASTER SITE PLAN - NOTES
 (MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

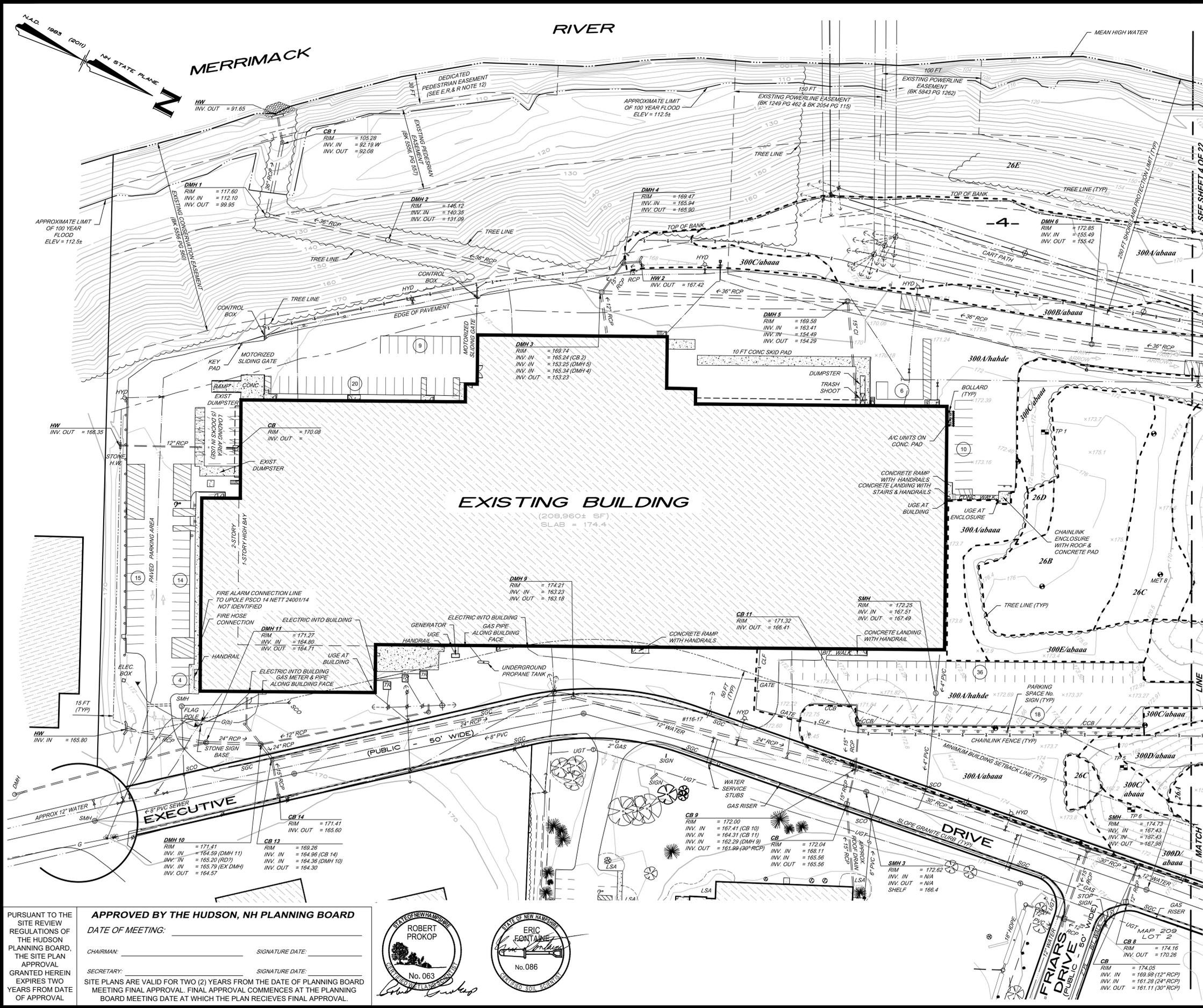
PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.haynerswanson.com

FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-F081	3889	2 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet



- SURVEY NOTES:**
- TOPOGRAPHY, INVERTS AND SITE DETAILS ARE A COMPILATION OF THAT TAKEN FROM PREVIOUS AS-BUILT PLAN (PLAN REF. No. B) AND ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE IN FEBRUARY 2020 THRU APRIL 2020.
 - UTILITIES SHOWN ARE APPROXIMATE BASED ON RECORD PLANS, OBSERVED EVIDENCE AND UTILITY DETECTION PERFORMED BY THIS OFFICE IN MARCH 2020.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
 - SURVEY CONTROL:
HORIZONTAL DATUM: NAD83/2011 PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 SCALE FACTOR APPLIED: 1.000000
UNITS: US SURVEY FEET
* VERTICAL DATUM WAS VERIFIED USING GPS (KEYNET NETWORK) BY TAKING OBSERVATIONS ON SITE AND ON NGS (FORMERLY USGS) DISK D-26 LOCATED ON THE NORTHERLY SIDE OF RTE 101A APPROXIMATELY 4.5 MILES WEST OF THE NASHUA LIBRARY.
 - THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES. SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
 - TEST PITS AS SHOWN ARE APPROXIMATE. TEST PITS WERE PERFORMED IN MARCH 2020 UNDER THE SUPERVISION OF HAYNER/SWANSON, INC., NASHUA, NH
 - BORINGS WERE PERFORMED IN MARCH 2020 UNDER THE SUPERVISION OF MILLER ENGINEERING AND TESTING, INC. MANCHESTER, NH.
 - THIS SITE CONTAINS WINDSOR (WMA W/C) SOILS AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.
 - SEE SHEET 2 FOR EASEMENTS, RIGHTS AND RESTRICTIONS NOTE.

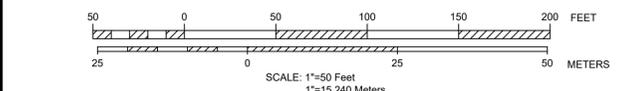
No.	DATE	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

EXISTING CONDITIONS PLAN
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020



3 Congress Street
Nashua, NH 03062
(603) 883-2057
www.haynerswanson.com

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



TEST PIT LOG

HSI # 3889
 MAP 10 LOT 14-2
 NOVAYA REAL ESTATE VENTURES, LLC
 36 EXECUTIVE DRIVE
 HUDSON, NH

TEST PITS: FOR DRAINAGE DESIGN
 WEATHER: 37-42° DRIZZLE & LIGHT RAIN, WINDY
 EQUIPMENT: KUBOTA KX0 57.4 MINI EXCAVATOR
 LOGGED BY: PAUL CARDELO, NHDES PERMIT #68

TEST PIT # 1 DATE: 3/30/20 (AREA THAT HAS BEEN REGRADED)

0-6" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 6-13" 10YR 5/6, YELLOWISH BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 13-34" 10YR 6/6, BROWNISH YELLOW, LOAMY SAND, GRANULAR, FRIABLE WITH FEW ROOTS
 34-44" 10YR 7/4, VERY PALE BROWN, SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 44"
 44-72" 10YR 5/4, YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 5% GRAVEL, SINGLE GRAIN AND LOOSE
 72-104" 10YR 7/4, VERY PALE BROWN, SAND, SINGLE GRAIN AND LOOSE
 104-150" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 10% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 44" LEDGE: NONE

TEST PIT # 2 DATE: 3/30/20 (MOWED GRASS AREA)

0-12" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 12-26" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM FILL, FINE GRANULAR, VERY FRIABLE WITH FEW ROOTS
 26-50" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE WITH FEW ROOTS
 30-45" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 45-96" 10YR 6/3, PALE BROWN, LOAMY SAND, FINE GRANULAR, FRIABLE WITH FEW ROOTS TO 45"

ESHWT: NONE OWT: NONE ROOTS: 48" LEDGE: NONE

TEST PIT # 3 DATE: 3/30/20

0-7" 10YR 3/3, DARK BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 7-24" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH COMMON ROOTS
 24-40" 10YR 6/6, BROWNISH YELLOW, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS
 40-82" 10YR 3/3, PALE BROWN, COARSE GRAVELLY SAND, 25% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 72"
 82-108" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE
 108-144" 10YR 6/3, PALE BROWN, COARSE GRAVELLY SAND, 25% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 72" LEDGE: NONE

TEST PIT # 4 DATE: 3/30/20 (MOWED GRASS AREA)

0-66" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
 66-75" 10YR 6/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 10% GRAVEL, GRANULAR AND FRIABLE
 75-96" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: NONE LEDGE: NONE

TEST PIT # 5 DATE: 3/30/20 (EDGE OF MOWED GRASS AREA)

0-34" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH MANY ROOTS
 34-60" 10YR 5/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 15% GRAVEL, GRANULAR, FRIABLE WITH COMMON TO FEW ROOTS
 60-84" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN, LOOSE WITH FEW ROOTS TO 72"

ESHWT: NONE OWT: NONE ROOTS: 72" LEDGE: NONE

TEST PIT # 6 DATE: 3/30/20 (MOWED GRASS AREA)

0-6" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, WEAK FINE GRANULAR, VERY FRIABLE WITH NO ROOTS
 6-18" 10YR 6/4, LIGHT YELLOWISH BROWN, FINE LOAMY SAND FILL, WEAK FINE GRANULAR AND FRIABLE
 18-48" 10YR 6/3, PALE BROWN, GRAVELLY LOAMY SAND FILL, 10% ROUNDED COBBLES, 10% GRAVEL, FINE GRANULAR AND FRIABLE
 48-54" 10YR 3/2, VERY DARK GRAYISH BROWN, FINE SANDY LOAM, WEAK FINE GRANULAR AND FRIABLE WITH FEW ROOTS
 54-68" 10YR 5/6, YELLOWISH BROWN, SANDY LOAM, FINE GRANULAR, FRIABLE WITH FEW ROOTS
 68-88" 10YR 5/4, YELLOWISH BROWN, GRAVELLY SAND, 15% ROUNDED COBBLES, 15% GRAVEL, SINGLE GRAIN AND LOOSE WITH FEW ROOTS TO 80"
 88-96" 10YR 6/3, PALE BROWN, MEDIUM SAND, SINGLE GRAIN AND LOOSE

ESHWT: NONE OWT: NONE ROOTS: 80" LEDGE: NONE

TEST PIT # 7 DATE: 3/30/20 (EDGE MOWED GRASS AREA)

0-24" 10YR 3/3, DARK BROWN, FINE SANDY LOAM FILL, MASSIVE, VERY FRIABLE WITH FEW ROOTS
 24-30" 10YR 6/4, LIGHT YELLOWISH BROWN, LOAMY SAND FILL, FINE GRANULAR AND FRIABLE WITH FEW ROOTS
 30-52" 10YR 5/4, YELLOWISH BROWN, GRAVELLY LOAMY SAND, 5% ROUNDED COBBLES, 5% GRAVEL, GRANULAR AND FRIABLE WITH COMMON ROOTS
 52-96" 10YR 6/3, PALE BROWN, GRAVELLY SAND, 5% ROUNDED COBBLES, 10% GRAVEL, SINGLE GRAIN AND LOOSE WITH FEW ROOTS TO 78"

ESHWT: NONE OWT: NONE ROOTS: 78" LEDGE: NONE

LEGEND

- 100 EXISTING GROUND CONTOUR
- +100.5 EXISTING SPOT ELEVATION
- 100 PROPOSED GRADE
- +100.5 PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLE
- STORM DRAIN & HEADWALL
- STORM DRAIN & END SECTION
- SANITARY SEWER & MANHOLE
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELEC/TEL & MANHOLES
- SIGN
- TREE LINE
- STONE BOUND
- IRON PIN
- IRON PIPE
- TEMPORARY BENCHMARK
- BUILDING SETBACK LINE
- CHAINLINK FENCE
- CURBING
- VERTICAL GRANITE CURBING
- SLOPE GRANITE CURBING
- STORMWATER RUNOFF DIRECTION
- HANDICAP PARKING SPACE
- HANDICAP SIDEWALK RAMP
- PARKING SPACE COUNT
- GUARDRAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED HEAVY DUTY PAVEMENT
- RIPRAP / STONE
- BORING LOCATION & IDENTIFIER
- TEST PIT LOCATION & IDENTIFIER
- RETAINING WALL
- CONIFEROUS TREE
- DECIDUOUS TREE

UTILITY QUALITY LEGEND

SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY CI/ASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.

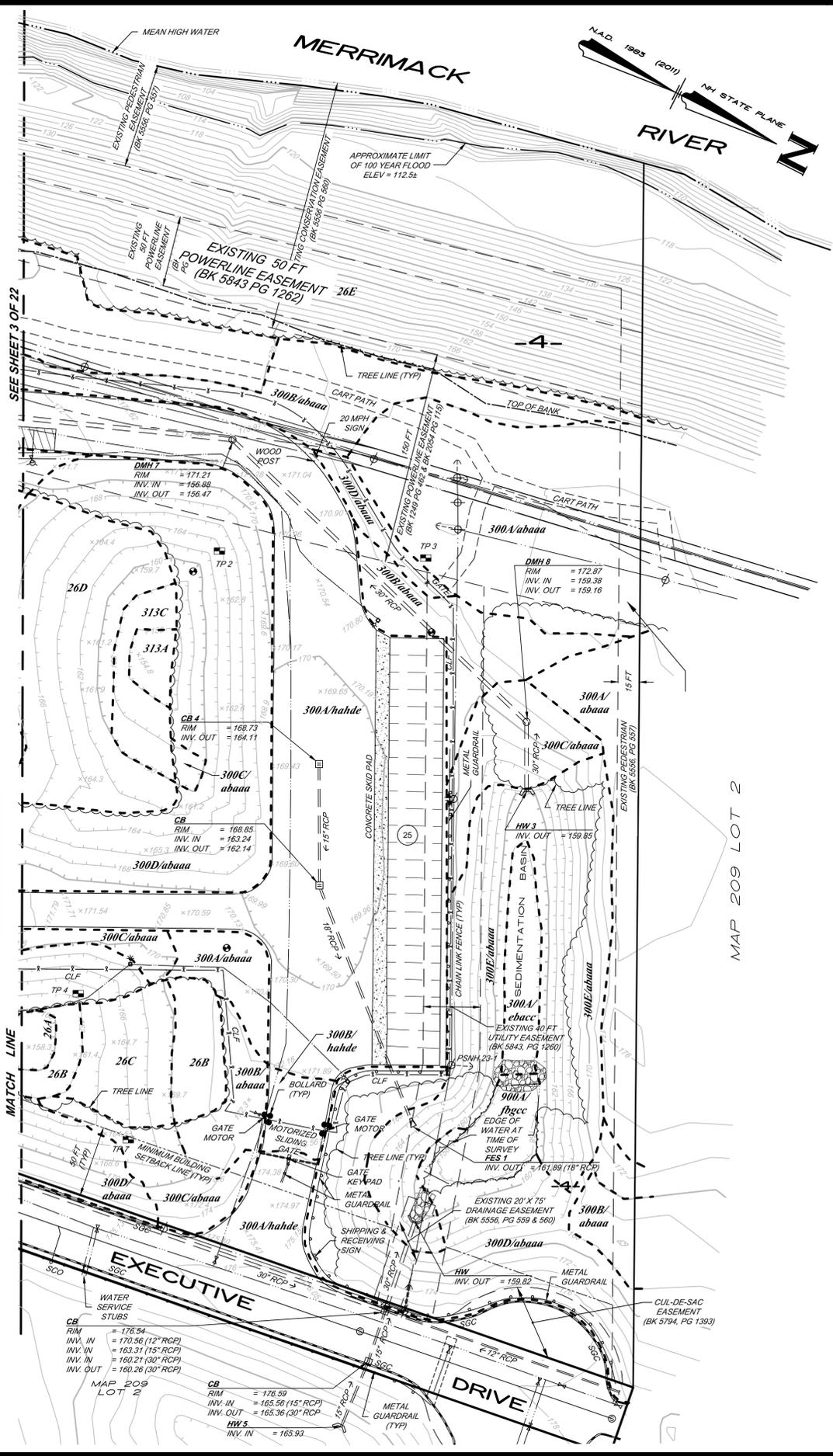
LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (IE. DIGSAFE)

LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.



SOIL NOTES

- SITE SPECIFIC SOIL MAPPING WAS PERFORMED BY ROBERT PROKOP, NH CERTIFIED WETLAND SCIENTIST (#063) AND ERIC FONTAINE, NH CERTIFIED SOIL SCIENTIST (#086) ON APRIL 15, 2020 TO THE SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SPECIAL PUBLICATION NUMBER #3, DECEMBER, 2006.
- NO WETLANDS WERE FLAGGED ON THE SITE, ALTHOUGH AN AREA OF STANDING WATER WAS FOUND AS PART OF A DETENTION BASIN (300A SOIL).
- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE AS A PLANNING DOCUMENT FOR SITE DEVELOPMENT CONSTRUCTION. IT WAS COMPLETED BY A NH CERTIFIED WETLAND SCIENTIST AND NH CERTIFIED SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT DATED JUNE 10, 2020 THAT ACCOMPANIES THIS MAP.
- THE SOIL MAP UNITS IDENTIFIED FOR THE 26.6 ACRE SOUTHERN CONTAINER, INC. SITE LOCATED AT 36 EXECUTIVE DRIVE IN HUDSON, NH (MAP 10 LOT 14.2) ARE IDENTIFIED BELOW USING THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, ISSUE #10, JANUARY 2011.
- ONLY THE NORTHERN HALF OF THE SITE WAS MAPPED WHERE THE BUILDING ADDITION IS PROPOSED.

Soil Type*	Soil Taxonomic Name	Slope	Drainage**	Hydrologic Group
26A	Windsor	0 to 3%	Ex	A
26B	Windsor	3 to 8%	Ex	A
26C	Windsor	8 to 15%	Ex	A
26D	Windsor	15 to 25%	Ex	A
313A	Deerfield	0 to 3%	Mw	B
313B	Deerfield	3 to 8%	Mw	B
300A/abede*	Udipsammnets, smooth	0 to 3%	Ex/Ud	A/Ud
300B/abede*	Udipsammnets, smooth	3 to 8%	Ex/Ud	A/Ud
300C/abede*	Udipsammnets, smooth	8 to 15%	Ex/Ud	A/Ud
300D/abede*	Udipsammnets, smooth	15 to 25%	Ex/Ud	A/Ud
300E/abede*	Udipsammnets, smooth	25 to 50%	Ex	A
900A/P/abede*	Endoaquent, sandy	0 to 3%	P	C

*For a Disturbed Soil (e.g. 300 series), the lower case letter refers to:
 a = Drainage Class, b = Parent Material, c = Restrictive/Impervious layer, d = Estimated Ksat, e = Hydrologic Soil Group (also see Appendix A from report).

**Ex = excessively well drained; Mw = moderately well drained; P = poorly drained; Ud = undetermined

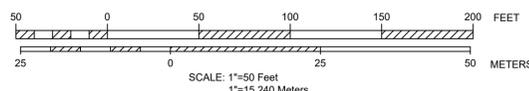
SOILS INFORMATION SHOWN PREPARED BY:
 ROBERT PROKOP
 WETLAND CONSULTING SERVICES
 NH CERTIFIED WETLAND SCIENTIST No. 063
 AND
 ERIC FONTAINE
 NH CERTIFIED SOIL SCIENTIST No. 086



No.	DATE	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

EXISTING CONDITIONS PLAN
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors

3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
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PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

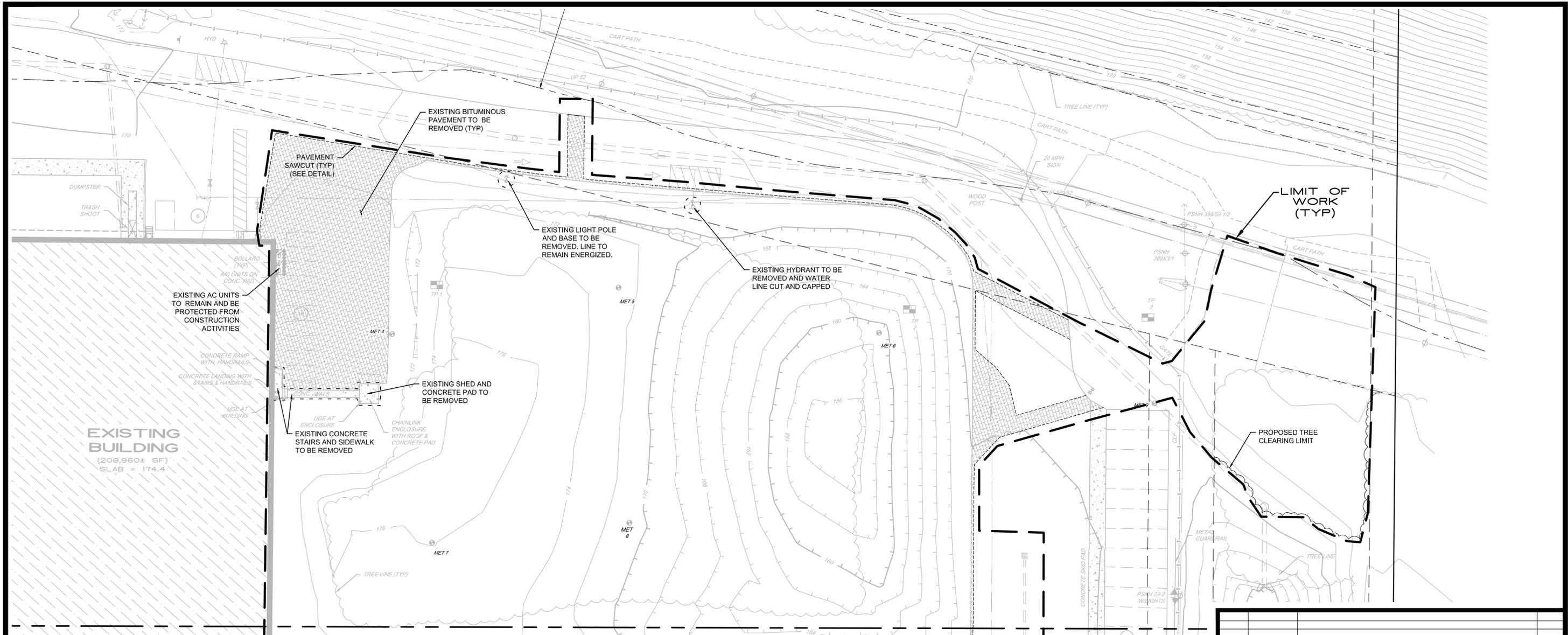
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

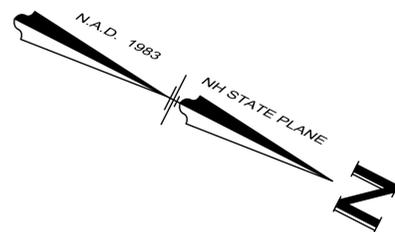
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



MATCH LINE

SEE SHEET 6 OF 22



SITE DEMOLITION NOTES:

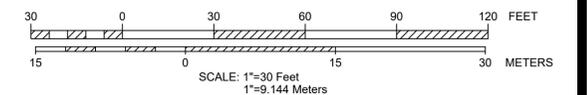
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. THE CONTRACTOR SHALL COORDINATE WITH TOWN OF HUDSON OFFICIALS ALL WORK INVOLVING WATER SUPPLY, SANITARY SEWER, AND IF NECESSARY STORMWATER MANAGEMENT.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBERGLASS PIPE (HEAT), FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
8. THE CONTRACTOR SHALL TAKE CARE DURING DEMOLITION WORK THAT NO DEBRIS ENTERS THE TOWN OF HUDSON SEWER SYSTEM. SEWER SERVICE DEMOLITION/ABANDONMENT WORK SHALL BE PERFORMED IN THE PRESENCE OF A CITY INSPECTOR.
9. THE CONTRACTOR SHALL TAKE CARE TO MINIMIZE DUST ENTERING THE TRAVEL WAY OF EXECUTIVE DRIVE OR ANY OTHER RIGHT OF WAY AREAS BY APPROPRIATE MITIGATION METHODS.
10. THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR ANY WORK IN THE TOWN RIGHT OF WAY.

No.	DATE	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

**SITE DEMOLITION PLAN
(MAP 215, LOT 4)**

**PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE**

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

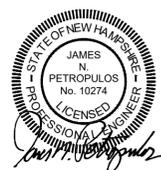
HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors

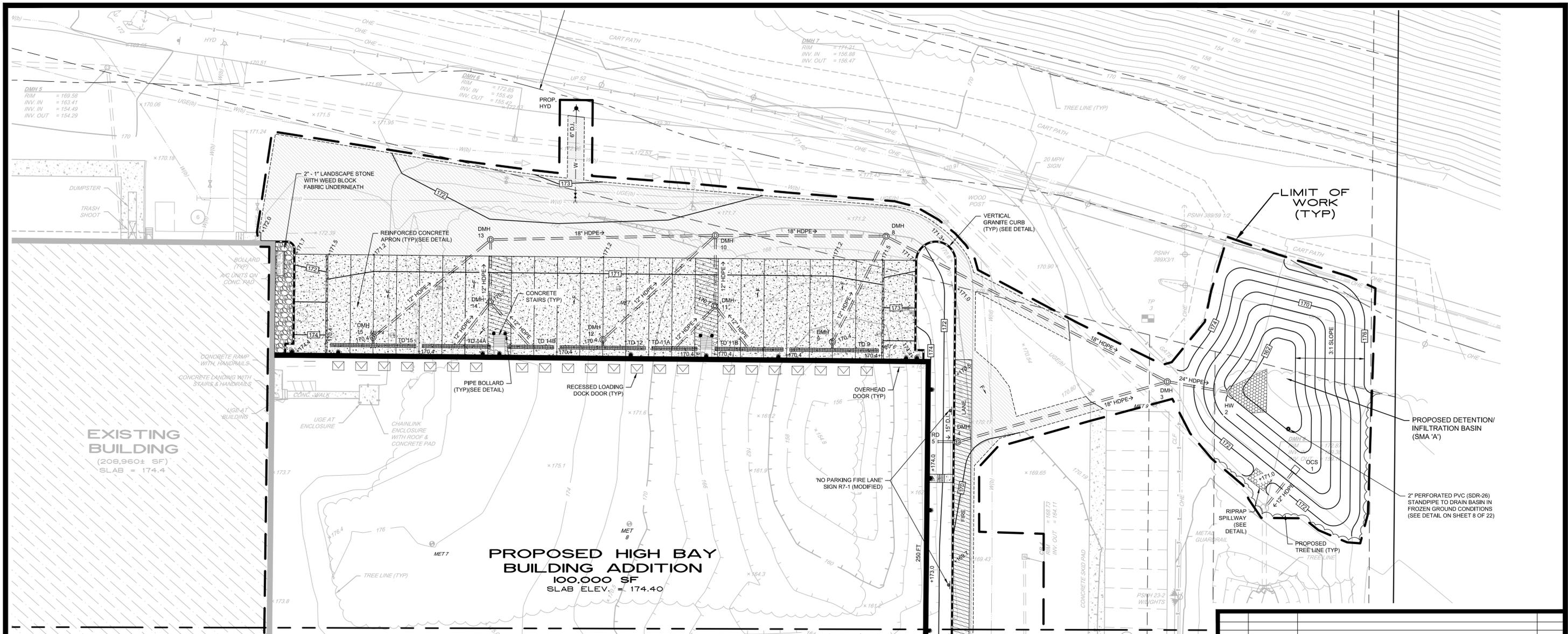
3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL.

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
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SECRETARY: _____ SIGNATURE DATE: _____

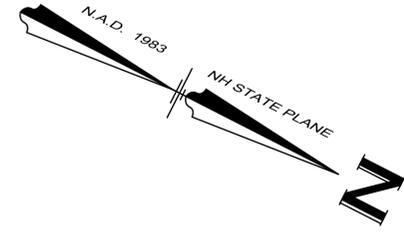
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MATCH LINE

SEE SHEET 8 OF 22



CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF HUDSON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPT., HUDSON, NEW HAMPSHIRE. ALL DRAINAGE PIPES SHALL BE ADS HP STORM. CATCH BASINS SHALL BE TYPE B, AND HAVE 4 FT SUMPS UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
4. WATER (DOMESTIC & FIRE PROTECTION), GAS, ELECTRIC AND TELECOMMUNICATION UTILITIES SHALL BE EXTENDED FROM THE EXISTING BUILDING TO THE PROPOSED ADDITION
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED THROUGH THE CONSTRUCTION PROCESS UNTIL STABILIZATION OCCURS.
6. STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. DIMENSIONS TO CURB AND GUTTERS INDICATE EDGE OF PAVING UNLESS OTHERWISE NOTED.
8. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT.
9. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS AND DETAILS, AND SHALL BE IN COMPLIANCE WITH TOWN OF HUDSON AND NHDES REQUIREMENTS.

TOWN OF HUDSON CONTACTS

PLANNING DEPARTMENT
 HUDSON PLANNING DEPT.
 12 SCHOOL STREET
 HUDSON, NH 03051

ATT: BRIAN GROTH, AICP
 LAND USE DIRECTOR
 (603) 886-6008

ENGINEERING DEPARTMENT
 HUDSON ENGINEERING DEPT.
 12 SCHOOL STREET
 HUDSON, NH 03051

ATT: ELVIS DHIMA, P.E.
 TOWN ENGINEER
 (603) 886-6008

FIRE DEPARTMENT
 HUDSON FIRE DEPARTMENT
 12 SCHOOL STREET
 HUDSON, NH 03051

ATT: ROBERT BUXTON, FIRE CHIEF
 (603) 886-6021

UTILITY CONTACTS

GAS:
 LIBERTY UTILITIES
 130 ELM STREET
 MANCHESTER, NH 03103
 ATT: ANDREW MORGAN
 (603) 327-5357

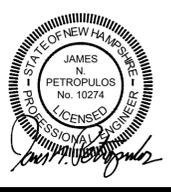
TELEPHONE:
 CONSOLIDATED COMMUNICATIONS
 257 DANIEL WEBSTER HIGHWAY
 MERRIMACK, NH 03054
 ATT: HEATHER ARUJOO
 (603) 296-5998

POWER:
 EVERSOURCE
 370 AMHERST STREET
 NASHUA, NH 03060
 ATT: MARC GAGNON
 (603) 882-5894

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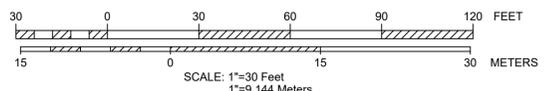


No.	DATE	TOWN AND NHDES COMMENTS	EDB
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SITE GRADING & UTILITY PLAN
 (MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

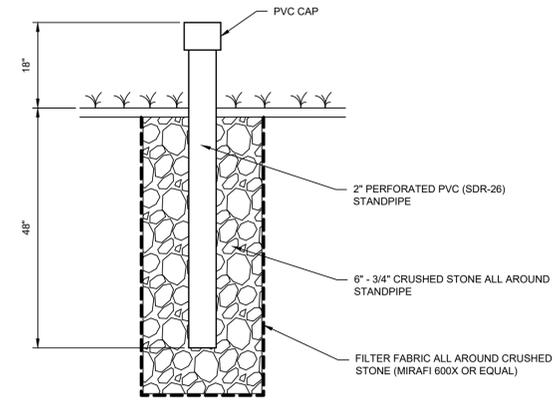
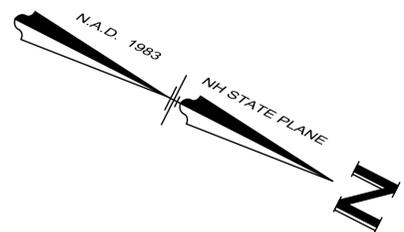
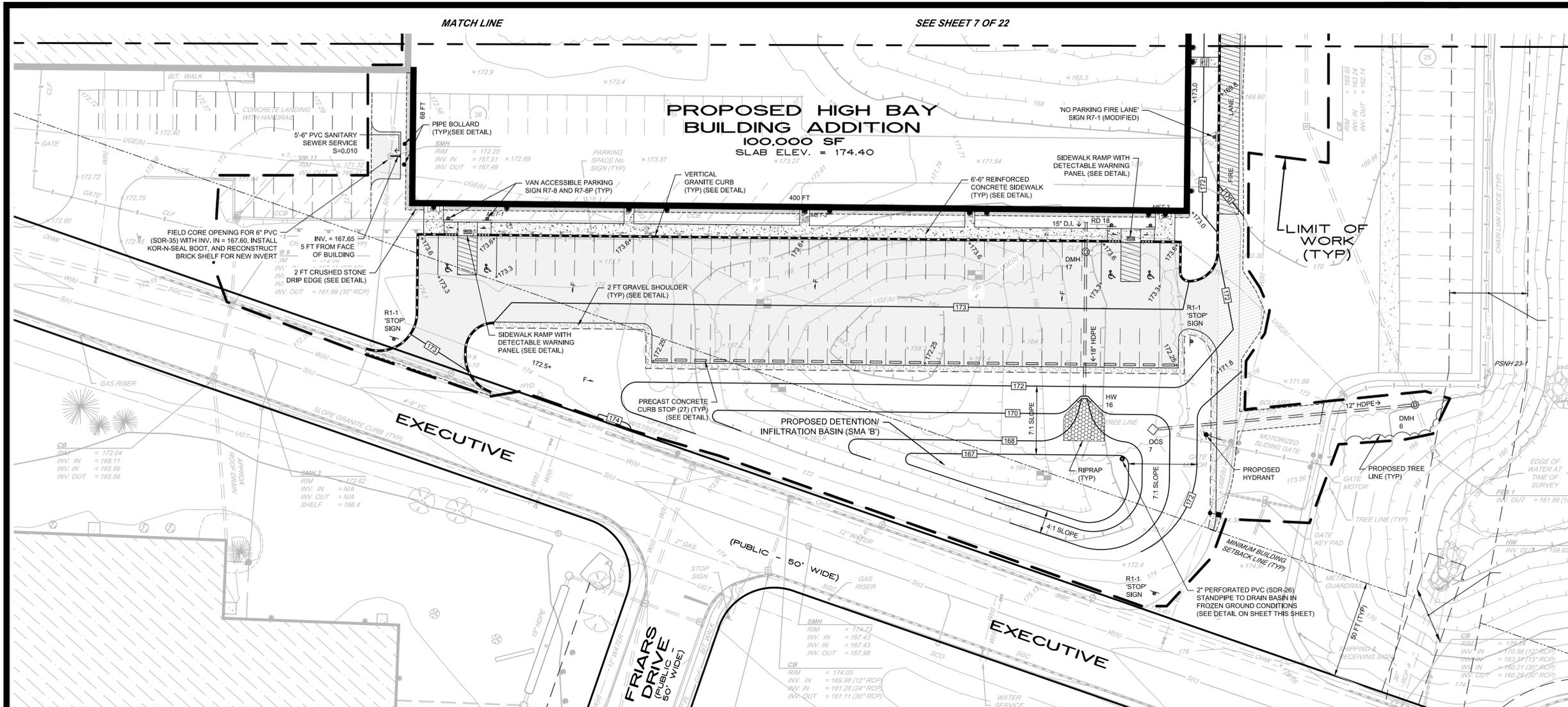
PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

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DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

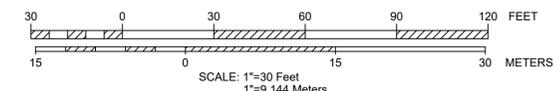


PERFORATED STANDPIPE DETAIL
NOT TO SCALE

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SITE GRADING & UTILITY PLAN
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

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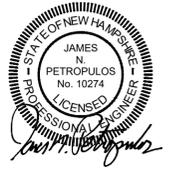


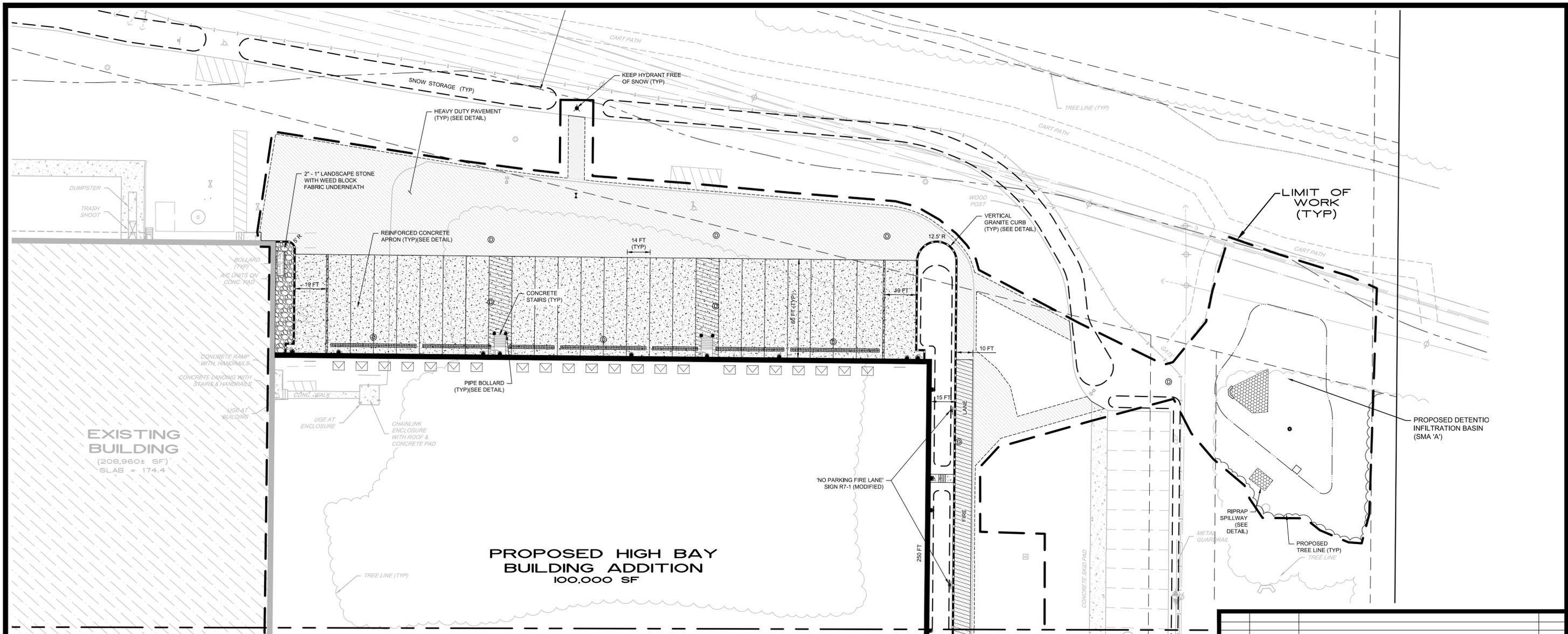
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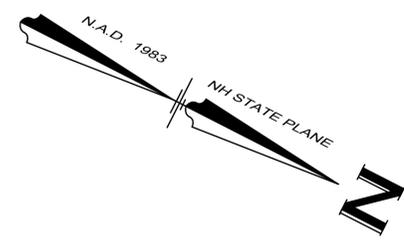
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MATCH LINE

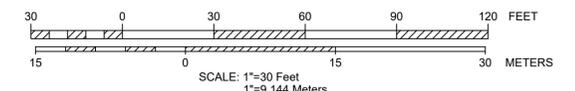
SEE SHEET 10 OF 22



No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

SITE LAYOUT PLAN
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
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 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



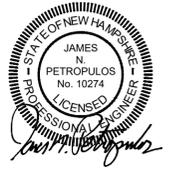
12 JUNE 2020

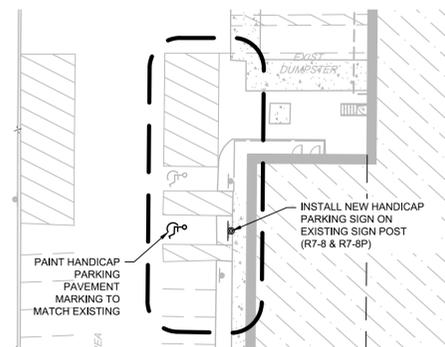
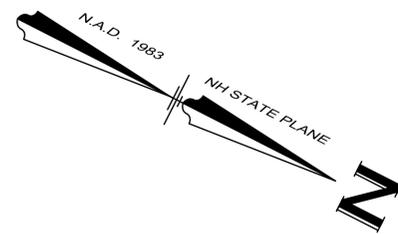
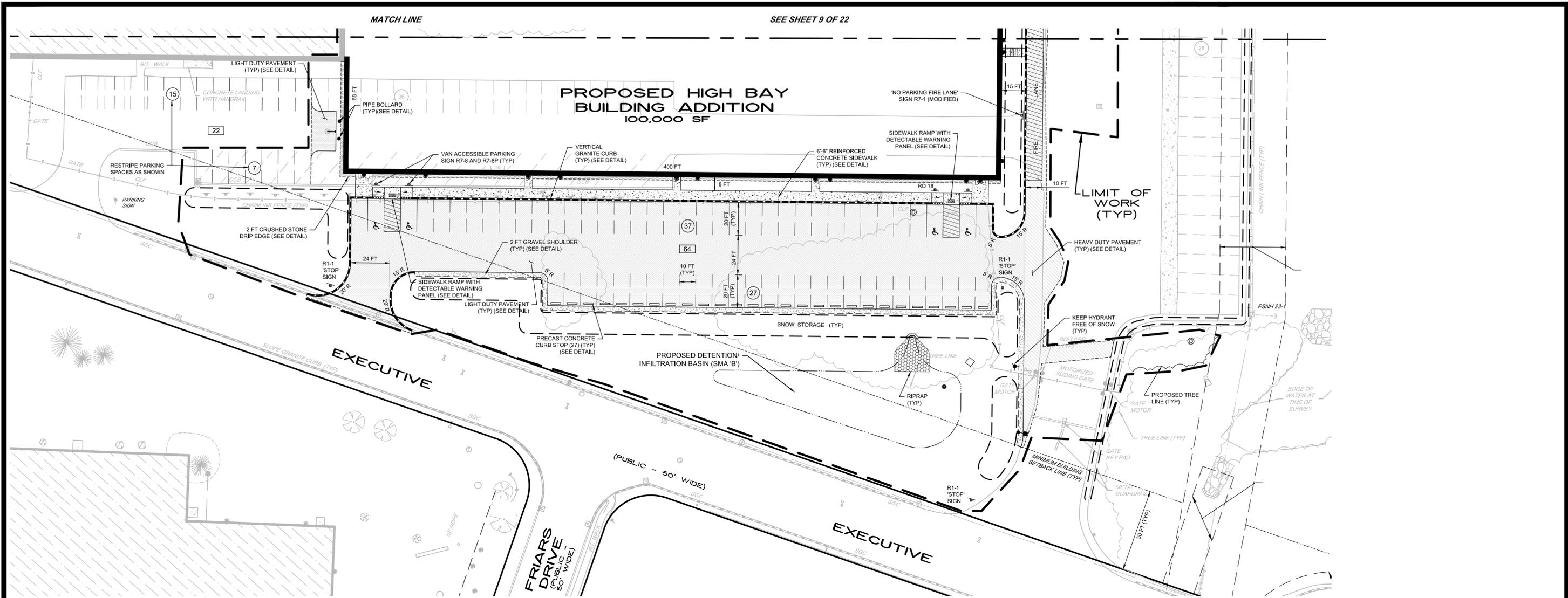
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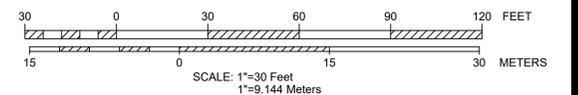
**HANDICAP ACCESSIBLE PARKING
(SOUTH END OF BUILDING)**

SCALE: 1" = 30'

No.	DATE	REVISION	BY
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**SITE LAYOUT PLAN
(MAP 215, LOT 4)**
PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

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 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

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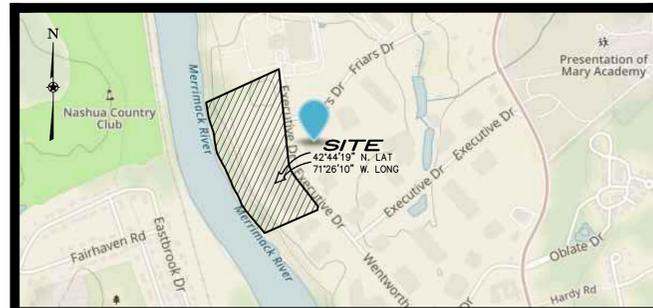
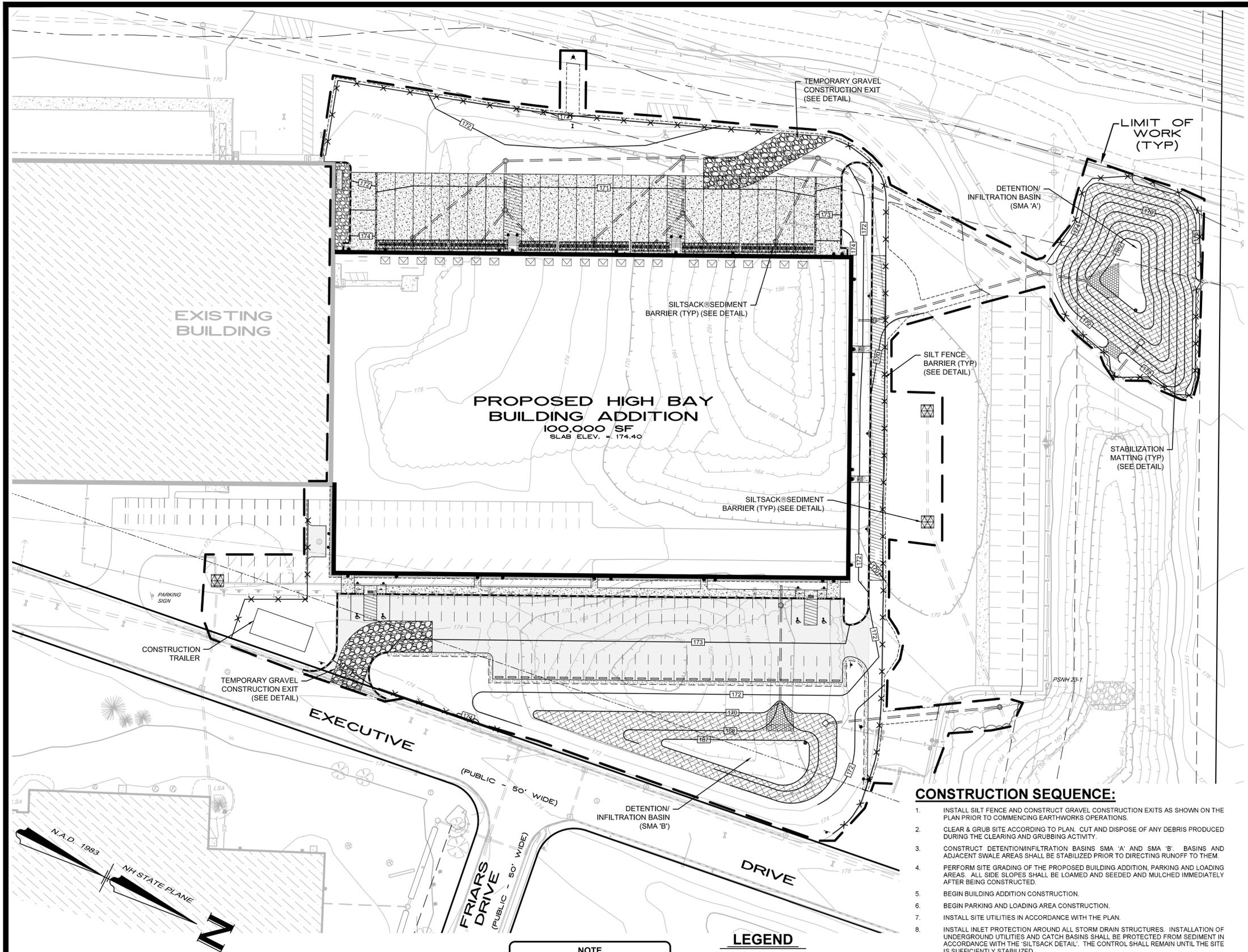
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VICINITY MAP

GENERAL NOTES:

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THE PROJECT SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND SHALL COMPLY WITH THE TERMS OF SWPPP AND NPDES PERMIT.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. STOCKPILE AREAS SHALL BE SURROUNDED BY SILT FENCE AND RE-SEEDED IF THEY ARE LEFT UNTOUCHED FOR MORE THAN FOURTEEN (14) DAYS.
5. ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
6. SILT FENCE SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
7. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
8. ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
9. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXIT AS CONDITIONS DEMAND.
10. THE TOWN OF HUDSON RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION IF NEEDED.

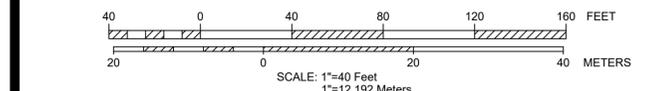
No.	DATE	TOWN AND NHDES COMMENTS	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

**EROSION CONTROL PLAN
(MAP 215, LOT 4)**

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
www.haynerswanson.com

FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-ERS1	3889	11 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND CONSTRUCT GRAVEL CONSTRUCTION EXITS AS SHOWN ON THE PLAN PRIOR TO COMMENCING EARTHWORKS OPERATIONS.
2. CLEAR & GRUB SITE ACCORDING TO PLAN. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
3. CONSTRUCT DETENTION/INFILTRATION BASINS SMA 'A' AND SMA 'B'. BASINS AND ADJACENT SWALE AREAS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
4. PERFORM SITE GRADING OF THE PROPOSED BUILDING ADDITION, PARKING AND LOADING AREAS. ALL SIDE SLOPES SHALL BE LOAMED AND SEEDED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
5. BEGIN BUILDING ADDITION CONSTRUCTION.
6. BEGIN PARKING AND LOADING AREA CONSTRUCTION.
7. INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
8. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE 'SILT-SACK DETAIL'. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
9. PREPARE SITE FOR PAVING.
10. AS BUILDING ADDITION, PARKING, AND LOADING AREAS ARE COMPLETED, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. NO PORTION OF THE PROJECT SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR A PERIOD OF 30 DAYS.
11. LOAM AND SEED ALL REMAINING DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER BEING CONSTRUCTED.
12. FINAL PAVING OF LOADING AREA.
13. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
14. SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
15. REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

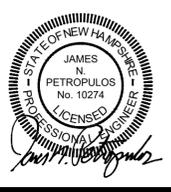
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

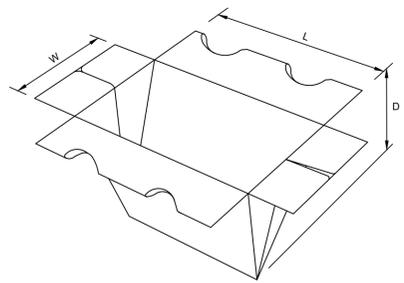


NOTE
THE CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT EXECUTIVE DRIVE IS KEPT FREE OF DIRT AND DEBRIS FOR THE DURATION OF THE CONTRACT.

NOTE
PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE TOWN ENGINEER TO REVIEW THE INSTALLED EROSION CONTROL MEASURES

LEGEND

	EXISTING GROUND CONTOUR
	PROPOSED GRADE
	RUNOFF DIRECTION
	SILT SOCK PERIMETER BARRIER
	SILT-SACK INLET PROTECTION DEVICES
	GRAVEL CONSTRUCTION EXIT
	TEMPORARY STONE CHECK DAM



SILTSAK® NOTES:

- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST RESULT
REGULAR FLOW	ASTM D-4884	165.0 LBS/IN
HI-FLOW	ASTM D-4884	114.6 LBS/IN

- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO 'DUMP' STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®; THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN; THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALF-WAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

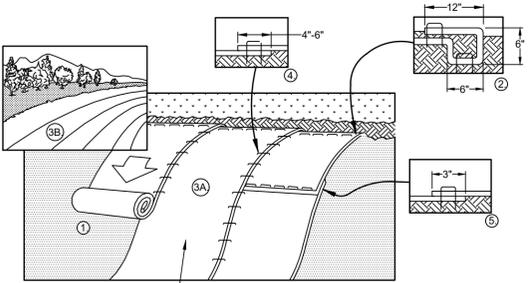
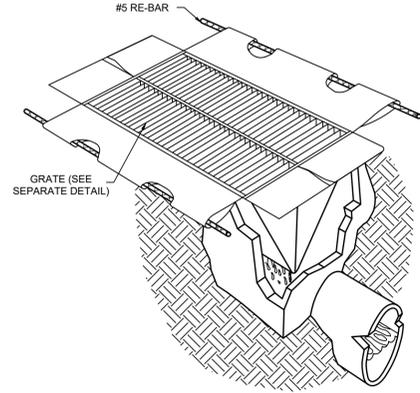
SILTSAK® REGULAR FLOW

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4631	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	0.55 SEC

OR SILTSAK® HI-FLOW

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	265 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	1.5 SEC

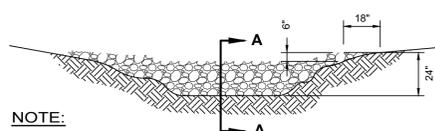
SILTSAK® DETAIL
NOT TO SCALE



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- ROLL THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURERS RECOMMENDATION.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

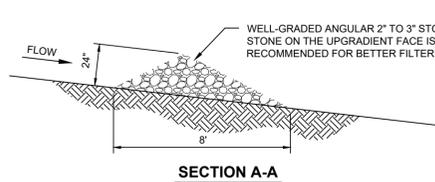
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

STABILIZATION MATTING DETAIL
NOT TO SCALE

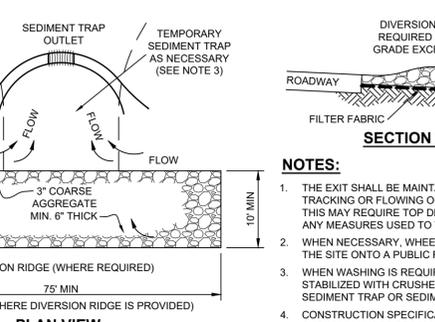


NOTE: KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.

VIEW LOOKING UPSTREAM



TEMPORARY STONE CHECK DAM TYPICAL SECTION
NOT TO SCALE



TEMPORARY GRAVEL CONSTRUCTION EXIT
NOT TO SCALE

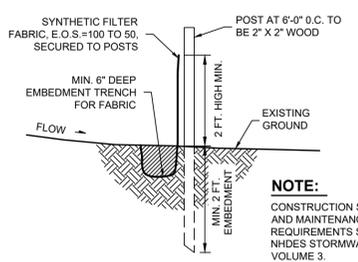
- NOTES:**
- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL VOLUME 3.

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
 - THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
 - STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH 'TEMPORARY STABILIZATION OF DISTURBED AREAS', AS OUTLINED IN NOTE NO. 4.
 - TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
- | SPECIES | RATE PER 1,000 SF | DEPTH | SEEDING DATES |
|------------------|-------------------|-------|----------------|
| WINTER RYE | 2.5 LBS | 1" | 08/15 TO 09/15 |
| OATS | 2.5 LBS | 1" | 04/15 TO 10/15 |
| ANNUAL RYE GRASS | 1.0 LBS | 0.25" | 08/15 TO 09/15 |
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE & COMMENTS |
|----------------------------------|---------------------------------------|--|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 920 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE. |
| CRUSHED STONE 1/4" TO 1 1/2" DIA | SPREAD TO GREATER THAN 1/2" THICKNESS | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED. |
- PERMANENT STABILIZATION OF DISTURBED AREAS:
A. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
B. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 - THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
 - AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
C. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
D. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
 - ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
 - NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT No. _____
 - SITE LOCATION: 42° 44' 19" N LATITUDE, 71° 26' 10" W LONGITUDE (PER GOOGLE EARTH)
 - TOTAL AREA OF DISTURBED SOILS: 283,000 SF.
 - REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES GENERAL PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 954-9545 OR www.epa.gov/nhdes/stormwater.
 - THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.
 - THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 3800 RELATIVE TO INVASIVE SPECIES, AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



SILT FENCE DETAIL
NOT TO SCALE

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND 'GOOD HOUSEKEEPING' PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND/OR HAY BALE BARRIERS.
- REMOVAL OF SOIL SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING 'GOOD HOUSEKEEPING' PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

No.	DATE	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - EROSION CONTROL
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
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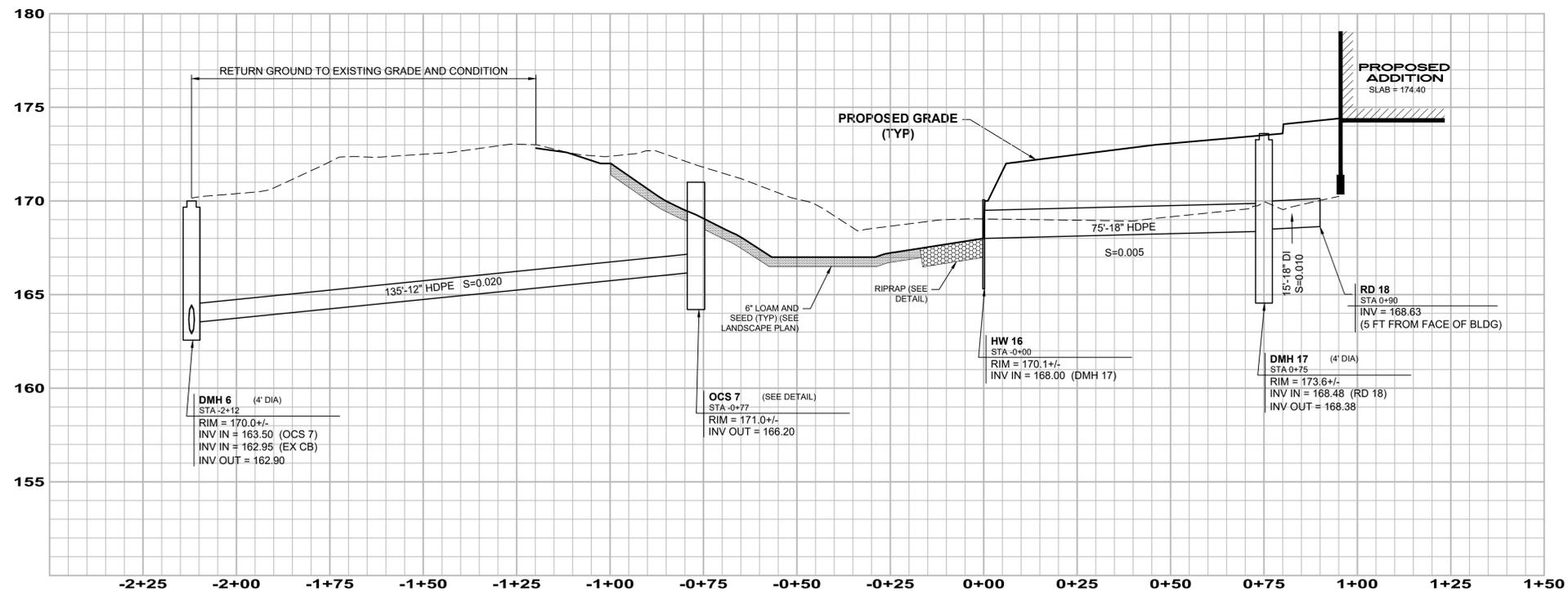
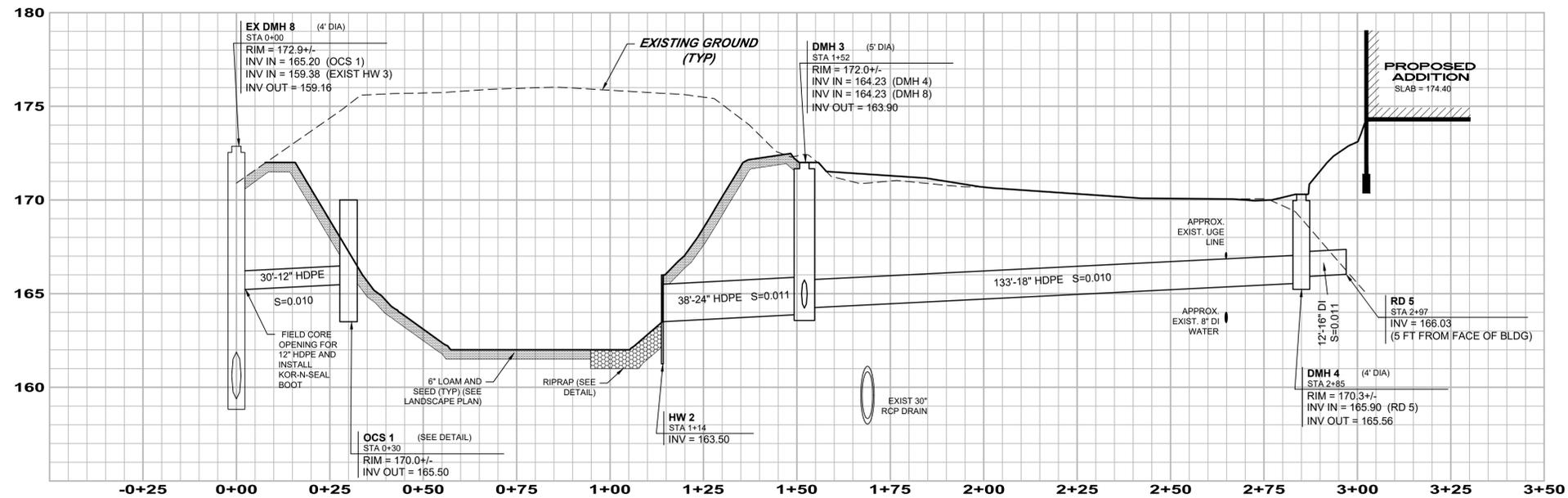
FIELD BOOK: 1239	DRAWING NAME: 3889-SIT-DET1	3889	12 OF 22
DRAWING LOC.: J:\3000\3889\DWG\SITE		File Number	Sheet

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

APPROVED BY THE HUDSON, NH PLANNING BOARD
DATE OF MEETING: _____
CHAIRMAN: _____ SIGNATURE DATE: _____
SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.





No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

UTILITY PROFILES
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

12 JUNE 2020

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

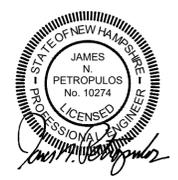
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

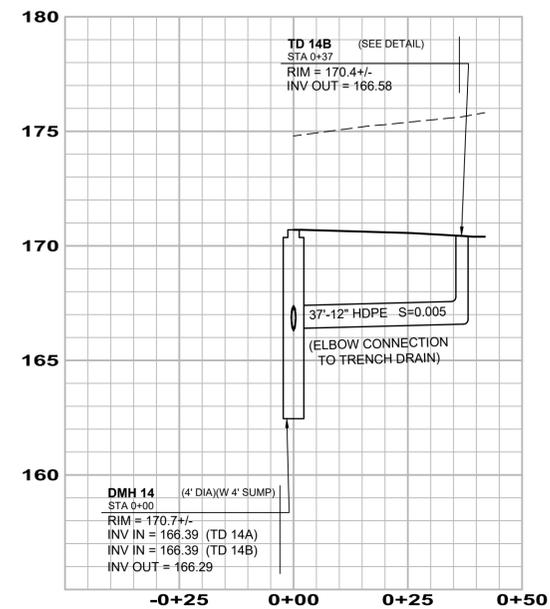
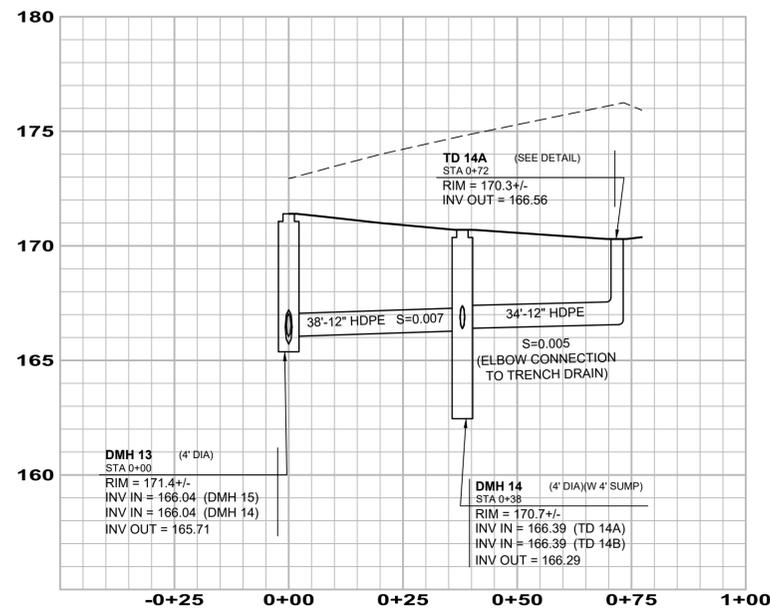
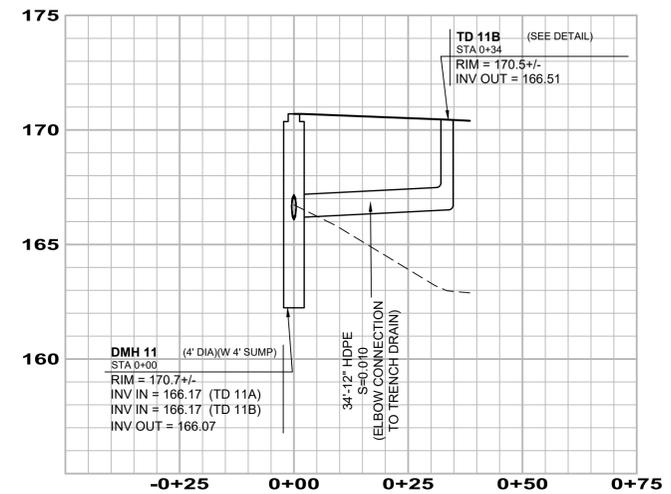
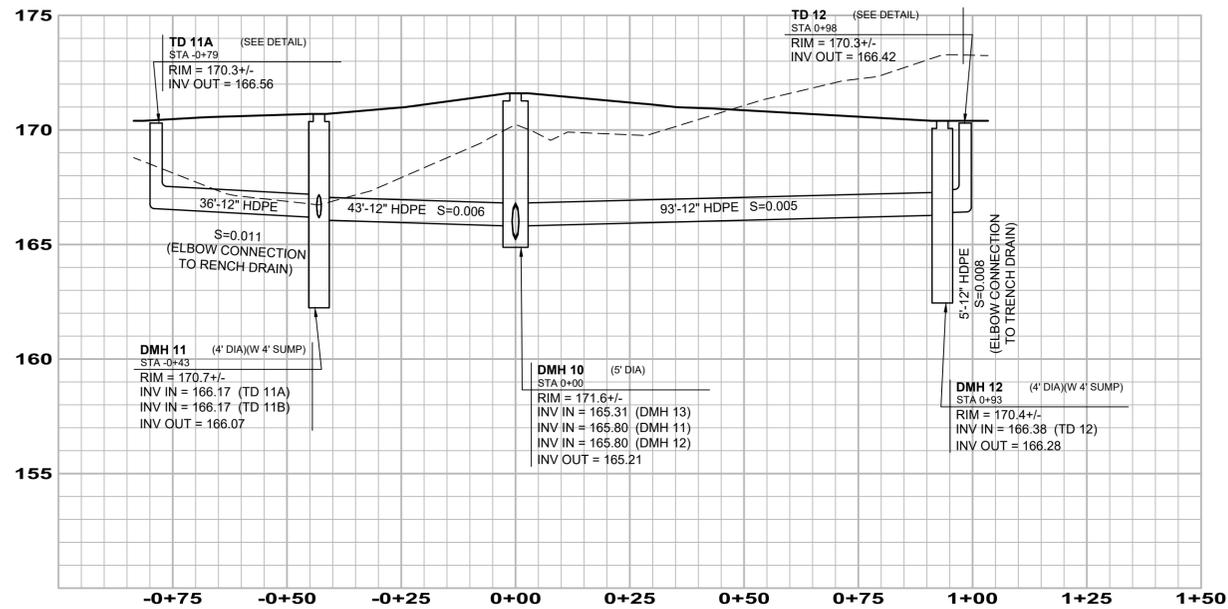
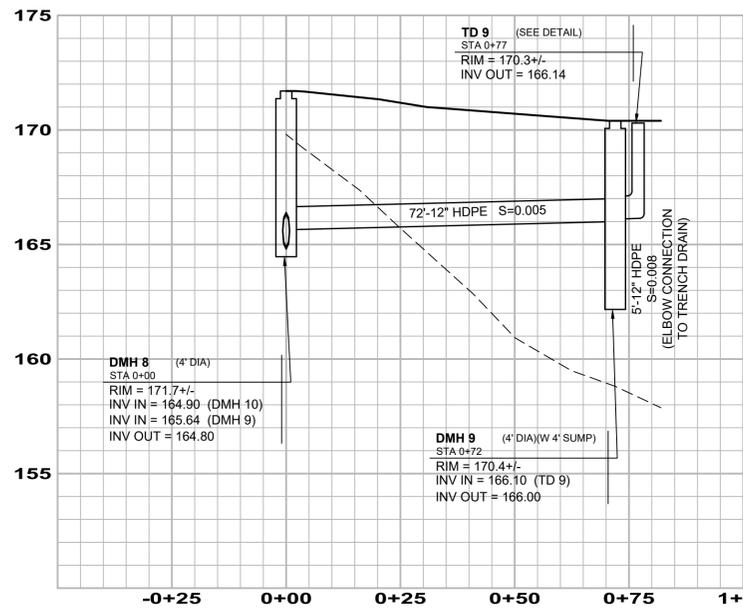
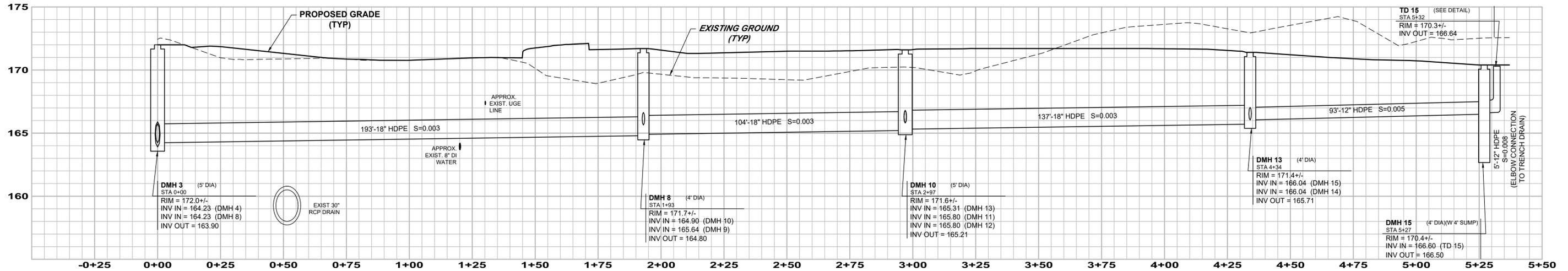
SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.



- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
 - PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
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FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-FY21	3889	13 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet



- NOTES**
- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
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 - EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

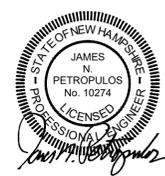
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

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SECRETARY: _____ SIGNATURE DATE: _____

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1	09/01/20	TOWN AND NHDES COMMENTS	EDB
No.	DATE	REVISION	BY

UTILITY PROFILES
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE

HUDSON, NEW HAMPSHIRE

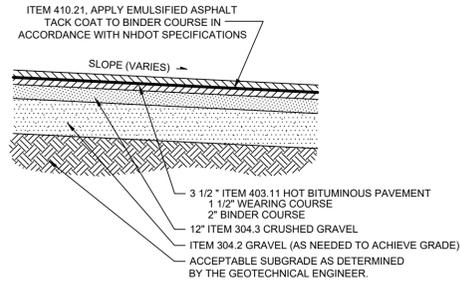
PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

SCALE: HORIZ. 1" = 20 Feet
VERT. 1" = 4 Feet

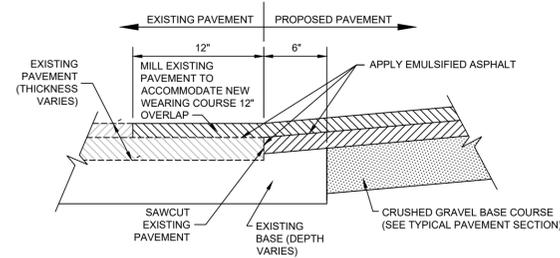
12 JUNE 2020

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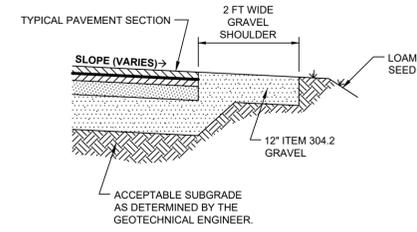
FIELD BOOK: 1239	DRAWING NAME: 3889-SITE-FY21	3889	14 OF 22
DRAWING LOC: J:\3000\3889\DWG\SITE		File Number	Sheet



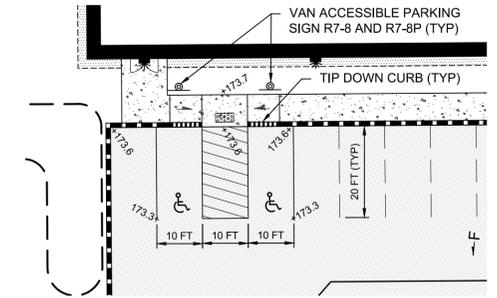
LIGHT DUTY TYPICAL PAVEMENT SECTION
NOT TO SCALE



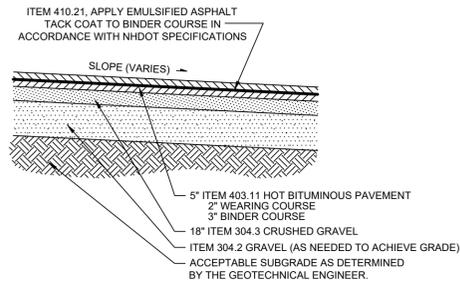
SAWCUT PAVEMENT DETAIL
NOT TO SCALE



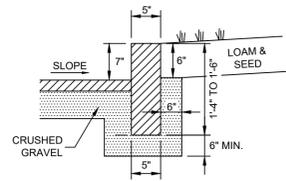
GRAVEL SHOULDER DETAIL
NOT TO SCALE



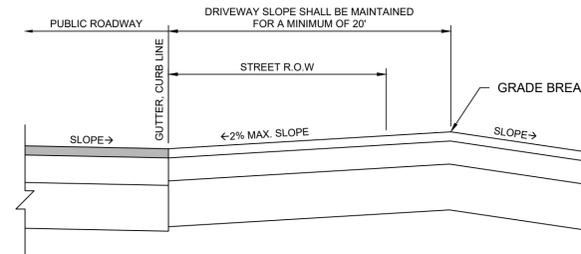
RESERVED PARKING AREA DETAIL
SCALE: 1" = 20'



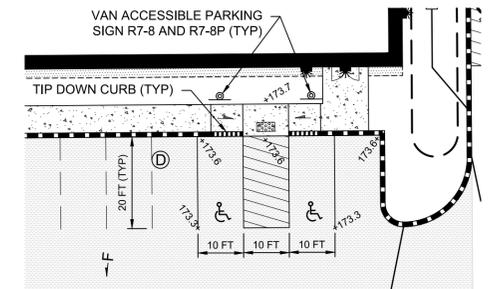
HEAVY DUTY TYPICAL PAVEMENT SECTION
NOT TO SCALE



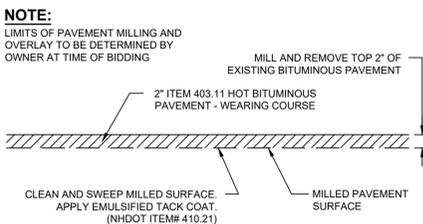
STRAIGHT OR CURVED VERTICAL GRANITE CURB
(ITEM 609.1 OR 609.2-MODIFIED)
NOT TO SCALE



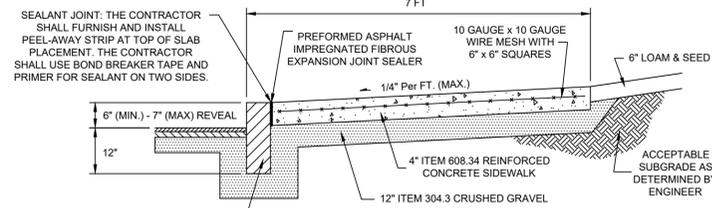
TYPICAL SECTION - DRIVEWAY APRON
NOT TO SCALE



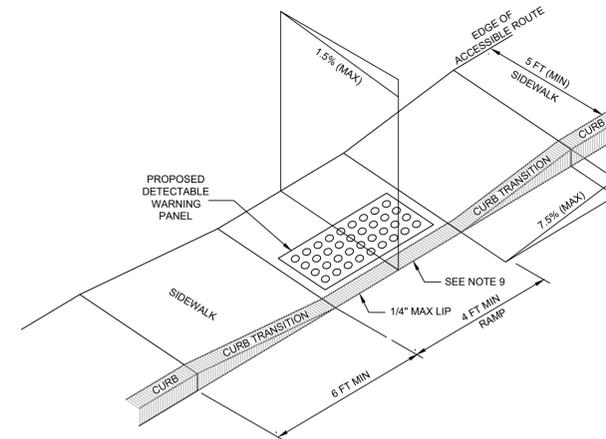
RESERVED PARKING AREA DETAIL
SCALE: 1" = 20'



MILL AND PAVEMENT OVERLAY DETAIL (BID ALTERNATE)
NOT TO SCALE



CONCRETE SIDEWALK AND VERTICAL GRANITE CURB DETAIL
NOT TO SCALE



- NOTES:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5 FT IN WIDTH (EXCLUDING CURB) A 5 FT X 5 FT PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS PAVEMENT.

HANDICAP ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE

No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

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APPROVED BY THE HUDSON, NH PLANNING BOARD

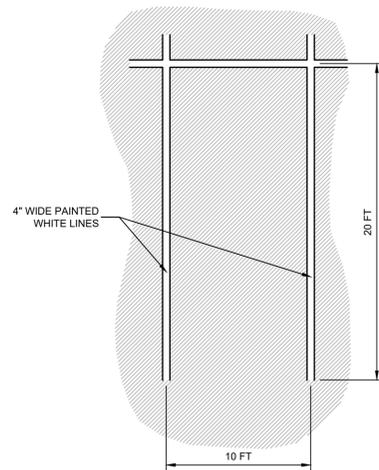
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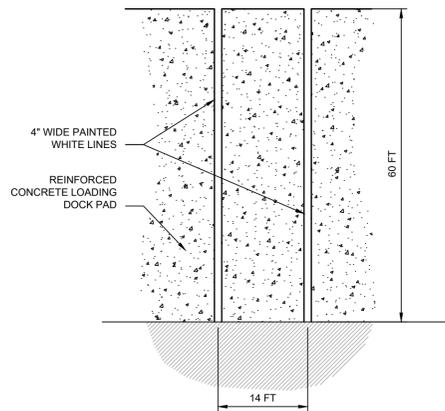
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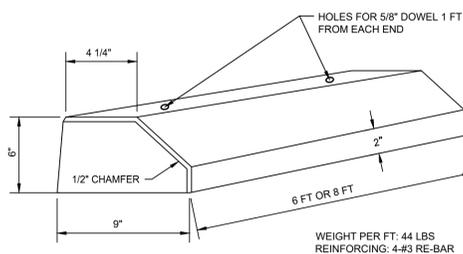
TYPICAL AUTOMOBILE PARKING STALL DETAIL

NOT TO SCALE



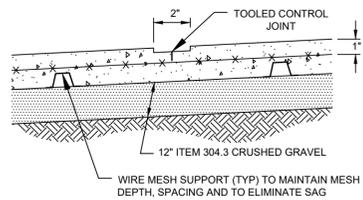
TYPICAL TRAILER PARKING STALL DETAIL

NOT TO SCALE



PRECAST CONCRETE CURB STOP DETAIL

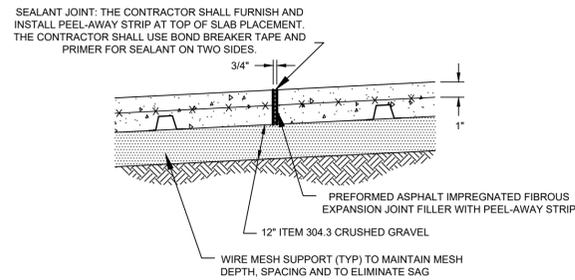
NOT TO SCALE



THE CONTRACTOR SHALL PROVIDE TOOLED CONTROL JOINTS @ 5'-0" O.C. PROVIDE FULL DEPTH EXPANSION JOINT @ 20'-0" O.C. AND AT ALL SIDEWALK INTERSECTIONS, T'S, L'S AND CORNERS. DO NOT USE PRE-FORMED KEY COLD JOINTS. JOINTS SHALL ALSO LINE UP WITH BOTH SIDES OF T SLAB INTERSECTIONS.

CONCRETE CONTROL JOINT DETAIL

NOT TO SCALE

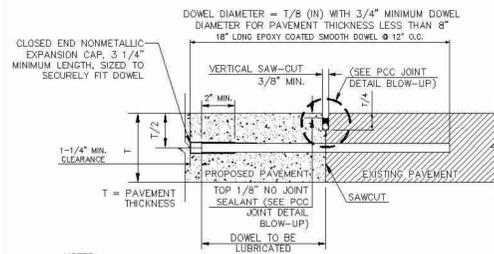


THE CONTRACTOR SHALL RUN THE WIRE MESH THROUGH THE FULL DEPTH EXPANSION JOINT.

SIDEWALK EXPANSION JOINT DETAIL

NOT TO SCALE

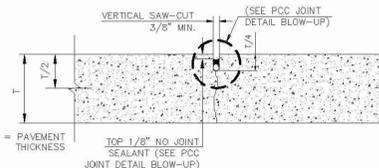
NOTE
THE CONCRETE LOADING APRON AND JOINTING METHODS DETAILS ARE FOR SCHEMATIC PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR THE FINAL DESIGN INCLUDING EXACT SIZES, DIMENSIONS AND DETAILS.



NOTES:

1. DOWEL BARS SHALL BE DRILLED 9" DEEP, 12" ON CENTER INTO VERTICAL FACE OF EXISTING PAVEMENT BY USE OF A MECHANICAL RIG; CLEAN HOLES THOROUGHLY.
2. DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
3. COMPLETELY FILL HOLE WITH EPOXY GROUT AND INSERT DOWEL WITH EXPANSION CAPS SHOWN IN DETAIL. INSTALL EXPANSION CAPS ON THE FREE END OF THE DOWELS.
4. DOWELS SHALL BE ALIGNED PERPENDICULAR TO THE JOINT.
5. DRILLING, CLEANING, AND GROUTING SHALL BE PERFORMED PER THE EPOXY MANUFACTURER'S REQUIREMENTS FOR THIS SPECIFIC APPLICATION.
6. FOR EPOXY GROUT, THE HOLE DIAMETER SHALL BE NOT MORE THAN 1/8" LARGER THAN THE DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER.
7. FOR CEMENT-BASED GROUT, THE HOLE DIAMETER SHALL BE AT LEAST 1/4" LARGER AND NOT MORE THAN 3/8" LARGER THAN THE DOWEL DIAMETER OR AS DIRECTED BY THE EPOXY MANUFACTURER.

BUTT JOINT



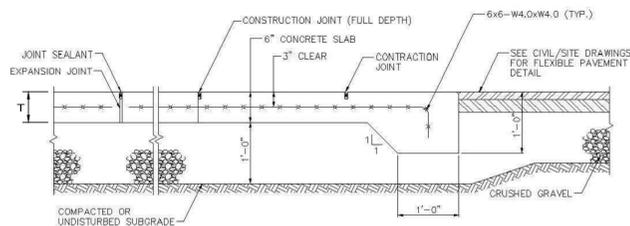
NOTE:

1. REFERENCE SLAB PLAN FOR JOINT SPACING.

CONTRACTION JOINT

NOTE:

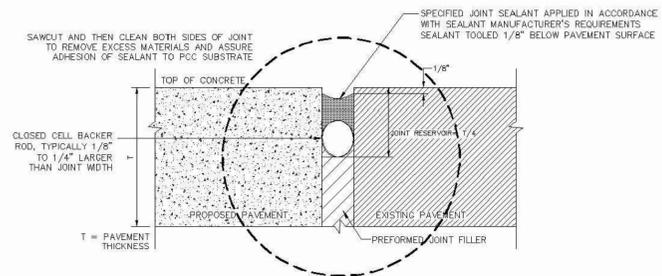
1. PLACE RIGID PAVEMENT CONSTRUCTION JOINTS AT END OF CONCRETE PLACEMENTS AND AT LOCATIONS WHERE PLACEMENT OPERATIONS ARE STOPPED FOR MORE THAN 1/2 HOUR. CONSTRUCTION JOINTS CAN BE PLACED AT ANY OF THE CONTRACTION JOINT LOCATIONS SHOWN ON THE SLAB PLAN.
2. TYPICAL JOINT SPACING SHALL BE AS SHOWN. HOWEVER ADJUST SPACING SO THAT JOINTS COINCIDE WITH ALL DRAINAGE STRUCTURES, (ALL CB'S & ALL DM'S).
3. JOINTS FOR COMPACTOR SLAB SHALL BE SIMILAR AND CONTRACTION JOINTS SHALL ALSO BE PLACED AT A MAXIMUM SPACING OF 10'-0" ON CENTER.



FOR EXPANSION, CONSTRUCTION, CONTRACTION, AND BUTT JOINTS SEE CONCRETE JOINT DETAILS

TYPICAL SECTION - CONCRETE APRON

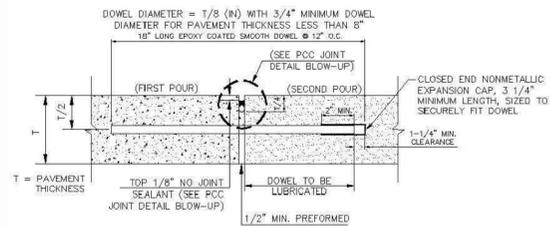
NOT TO SCALE



NOTES:

1. ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
2. INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
3. INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
4. JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

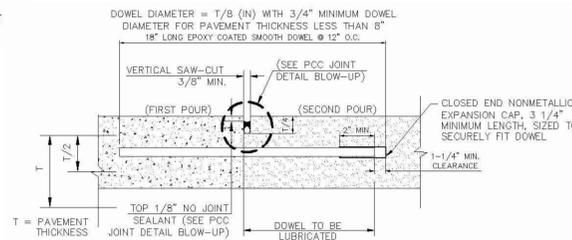
PCC JOINT DETAIL BLOW-UP (TYP) (EXPANSION JOINT)



NOTES:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
2. REFERENCE SLAB PLAN FOR JOINT SPACING.

TRANSVERSE EXPANSION JOINT



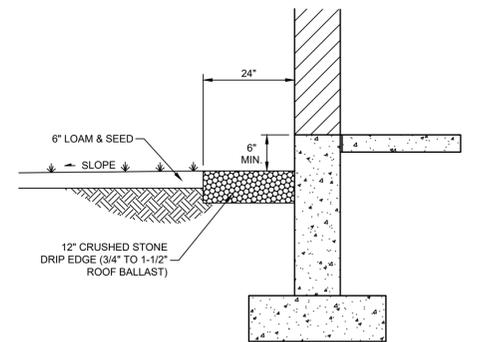
NOTE:

1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE, DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

CONSTRUCTION JOINT

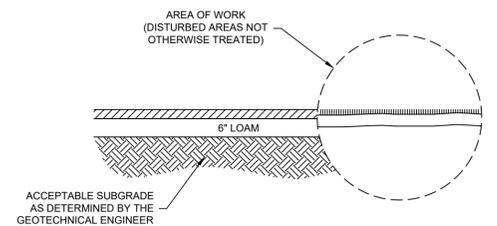
CONCRETE JOINT DETAIL

NOT TO SCALE



CRUSHED STONE DRIP EDGE DETAIL (FRONT OF BUILDING ADDITION)

NOT TO SCALE



SEED MIX
45% TURF TYPE TALL FESCUE
20% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
15% PERENNIAL RYEGRASS
RATE: 6-7lb/1,000SF

LOAM AND SEED DETAIL

NOT TO SCALE

No.	DATE	TOWN AND NHDES COMMENTS	REVISION	BY
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DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)

PROPOSED BUILDING ADDITION
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC

265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

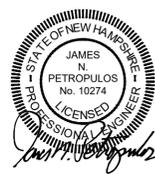
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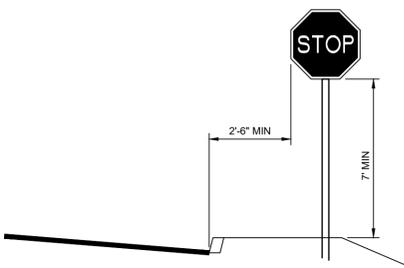
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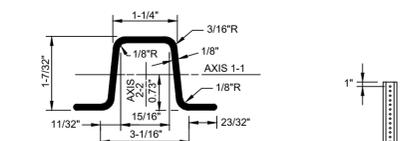
CONTRACTION JOINT

CONSTRUCTION JOINT

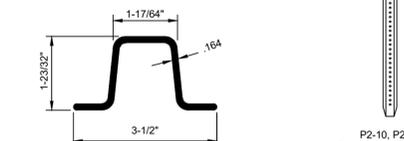
SIGN LEGEND		
TEXT SEE MUTCD FOR TEXT DIMENSIONS	IDENTIFICATION NUMBER	SIZE WIDTH/HEIGHT
	TEXT DIMENSIONS	
	R1-1	30"/30"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-1 (MODIFIED)	12"/18"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8	12"/18"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	
	R7-8P	18"/9"
	SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS	



STOP SIGN LOCATION DETAIL
NOT TO SCALE

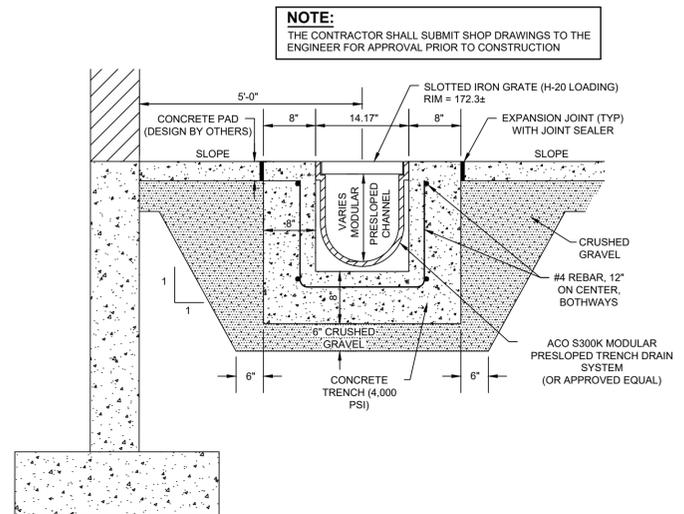


SECTION P2-10, P2-11
 LENGTH: P2-10, 10'-0", P2-11, 11'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 HOLES: 3/8" DIA. 1" C-C FULL LENGTH
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-5781 (GRADE 1070-1080)
 FINISH: SHALL BE PAINTED WITH TWO COATS OF BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING. PAINT SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.



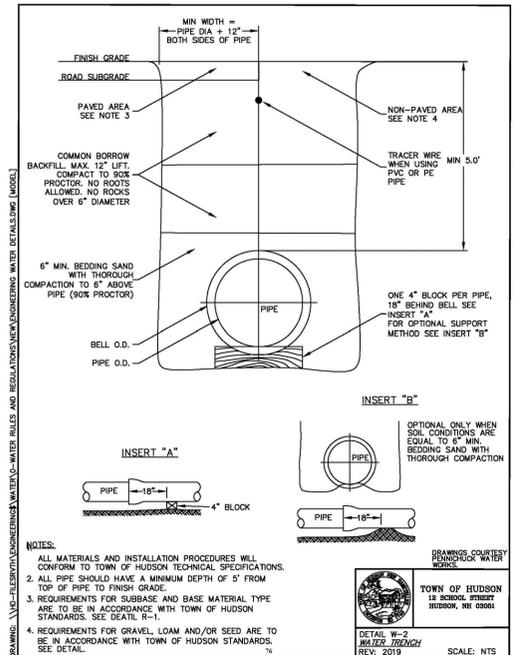
SECTION P-11 THRU P-16
 LENGTH: P-11, 11'-0", P-12, 12'-0", P-14, 14'-0", P-16, 16'-0"
 WEIGHT PER LINEAR FOOT: 3.00 LBS
 STEEL: SAME AS FOR P2-10, P2-11
 FINISH: SAME AS FOR P2-10, P2-11
 DIMENSIONS SHOWN ARE NOMINAL
 ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.

TRAFFIC SIGN SUPPORT DETAIL
NOT TO SCALE

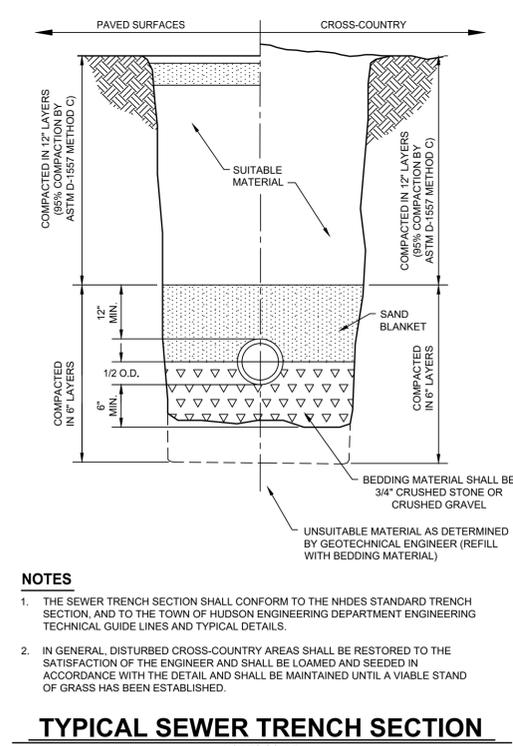


NOTE:
THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION

TRENCH DRAIN DETAIL
NOT TO SCALE

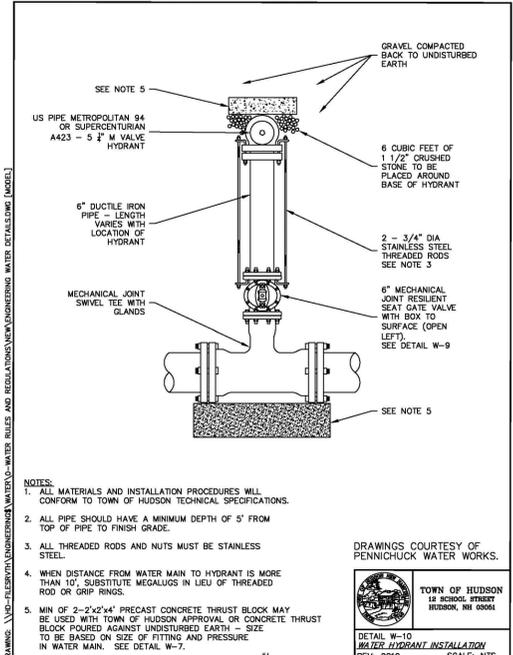


NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBBASE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL W-1.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH TOWN OF HUDSON STANDARDS. SEE DETAIL W-2.



NOTES:
 1. THE SEWER TRENCH SECTION SHALL CONFORM TO THE NHDES STANDARD TRENCH SECTION, AND TO THE TOWN OF HUDSON ENGINEERING DEPARTMENT ENGINEERING TECHNICAL GUIDE LINES AND TYPICAL DETAILS.
 2. IN GENERAL, DISTURBED CROSS-COUNTRY AREAS SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER AND SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DETAIL AND SHALL BE MAINTAINED UNTIL A VIABLE STAND OF GRASS HAS BEEN ESTABLISHED.

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE



NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF HUDSON TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.
 4. WHEN DISTANCE FROM WATER MAIN TO HYDRANT IS MORE THAN 10', SUBSTITUTE MEGALUGS IN LIEU OF THREADED ROD OR GRIP RINGS.
 5. MIN OF 2'-2x2x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH TOWN OF HUDSON APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL W-7.

WATER HYDRANT INSTALLATION
NOT TO SCALE

No.	DATE	TOWN AND NHDES COMMENTS	EDB
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

DETAIL SHEET - GENERAL SITE
(MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

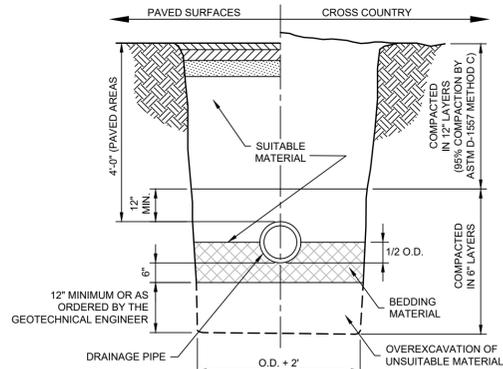
12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 www.haynerswanson.com

PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

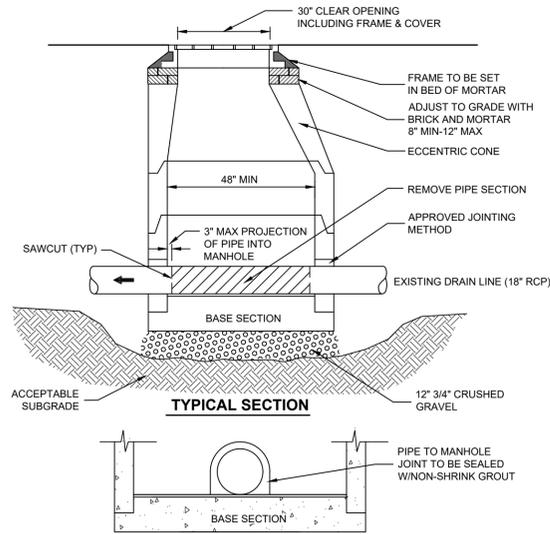
APPROVED BY THE HUDSON, NH PLANNING BOARD
 DATE OF MEETING: _____
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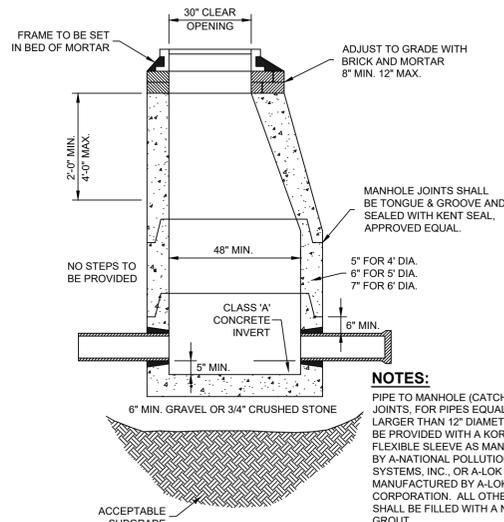


BEDDING MATERIAL:
 BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #57
 100% PASSING 1 INCH SCREEN
 90-100% PASSING 3/4 INCH SCREEN
 20-50% PASSING 3/8 INCH SCREEN
 0-10% PASSING #4 SIEVE
 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 TO 3/4 INCH SHALL BE USED.

TYPICAL DRAINAGE TRENCH SECTION
 NOT TO SCALE



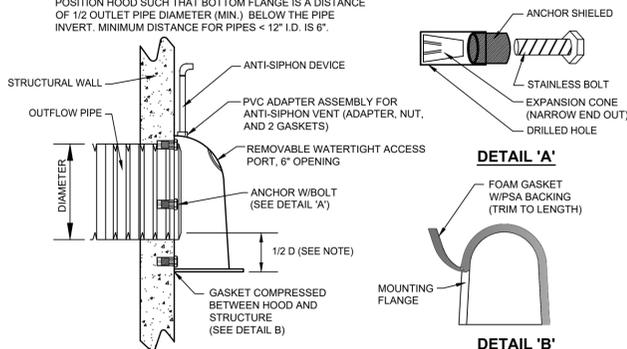
TYPICAL SECTION
CROSS SECTION
DROP-OVER DRAIN MANHOLE
 NOT TO SCALE



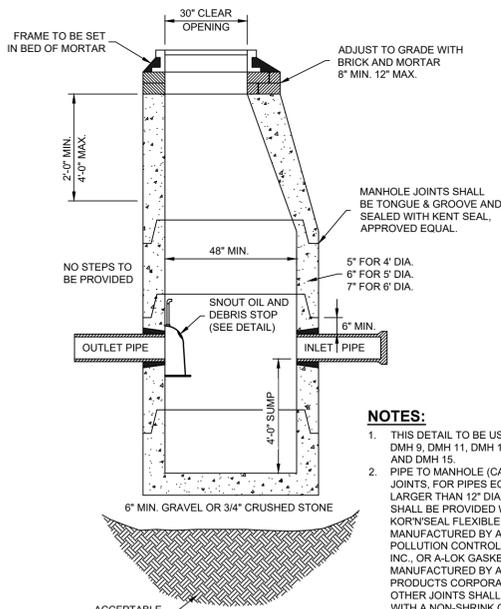
NOTES:
 PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 12\"/>

STANDARD DRAIN MANHOLE DETAIL
 NOT TO SCALE

NOTE:
 POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12\"/>

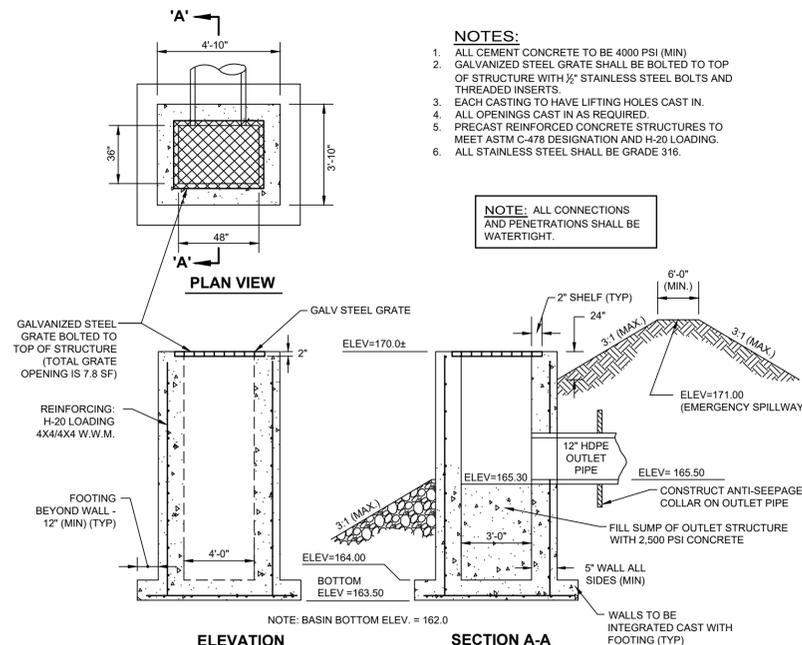


SNOUT OIL AND DEBRIS STOP DETAIL
 NOT TO SCALE



NOTES:
 1. THIS DETAIL TO BE USED FOR DMH 9, DMH 11, DMH 12, DMH 14 AND DMH 15.
 2. PIPE TO MANHOLE (CATCH BASIN) JOINTS, FOR PIPES EQUAL TO OR LARGER THAN 12\"/>

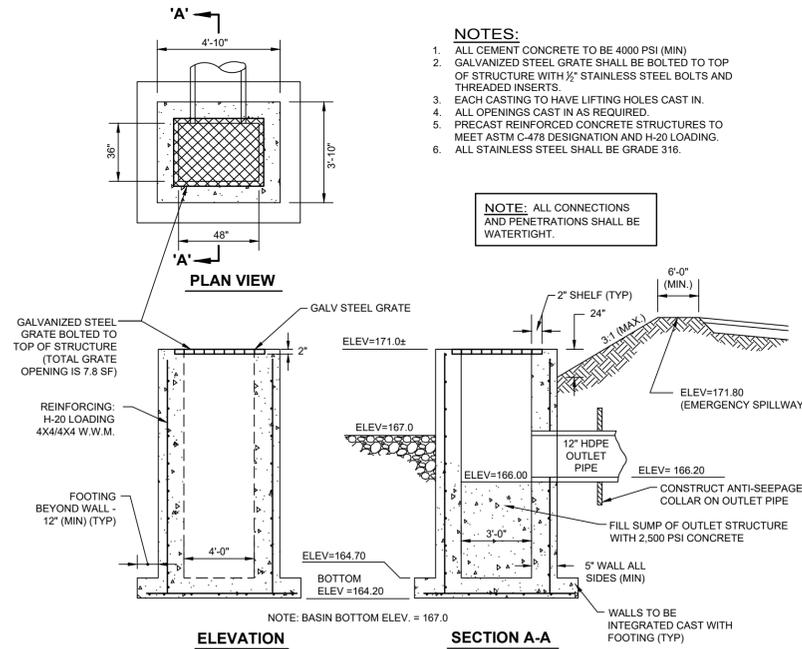
DEEP SUMP (4' - 0\") DRAIN MANHOLE DETAIL
 NOT TO SCALE



ELEVATION
SECTION A-A
OUTLET CONTROL STRUCTURE 1 DETAIL (OS 1)
 NOT TO SCALE

NOTES:
 1. ALL CEMENT CONCRETE TO BE 4000 PSI (MIN)
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2\"/>

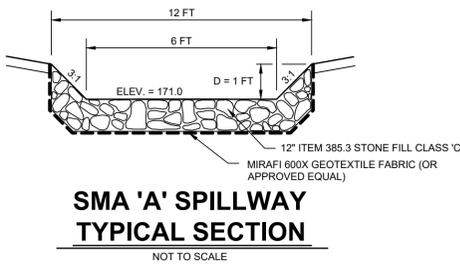
NOTE: ALL CONNECTIONS AND PENETRATIONS SHALL BE WATERTIGHT.



ELEVATION
SECTION A-A
OUTLET CONTROL STRUCTURE 7 DETAIL (OS 7)
 NOT TO SCALE

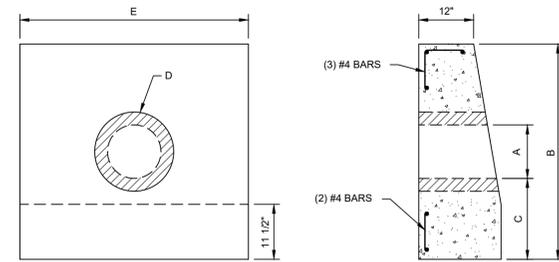
NOTES:
 1. ALL CEMENT CONCRETE TO BE 4000 PSI (MIN)
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2\"/>

NOTE: ALL CONNECTIONS AND PENETRATIONS SHALL BE WATERTIGHT.



SMA 'A' SPILLWAY TYPICAL SECTION
 NOT TO SCALE

DIA. A	B	C	DIA. D	E	WEIGHT PER SECTION
12"	4'-0"	18"	18"	4'-3"	3,000 LBS
15"	4'-3"	18"	22"	6'-0"	4,500 LBS
18"	4'-6"	18"	26"	7'-0"	5,530 LBS
24"	4'-6"	15"	34"	7'-0"	5,035 LBS

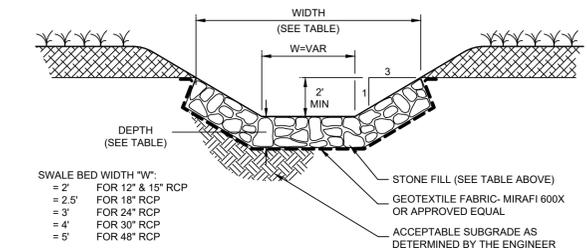


GENERAL NOTES:
 1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR.
 2. CONCRETE: Fc = 4,000 PSI @ 28 DAYS MINIMUM.
 3. EST WEIGHT: 3,000 LBS.

PRECAST HEADWALL DETAIL
 NOT TO SCALE

RIPRAP OUTLET PROTECTION SPECIFICATION TABLE

LOCATION	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	d 50 (IN)	MATERIAL
HW 2	29	23	1.5	5	ITEM 585.3 STONE FILL CLASS C
HW 16	21	17	1.0	3	ITEM 585.3 STONE FILL CLASS C



RIPRAP DETAIL AT HEADWALL/OUTLET DETAIL
 NOT TO SCALE

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DETAIL SHEET - GENERAL SITE (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE
 PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020

HSI Hayner/Swanson, Inc.
 Civil Engineers/Land Surveyors
 3 Congress Street
 Nashua, NH 03062
 (603) 883-2057
 131 Middlesex Turnpike
 Burlington, MA 01803
 (781) 203-1501
 www.haynerswanson.com

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General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials conforming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. LA must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.
- All seeded areas shall receive a minimum 6" topsoil blanket (by site contractor) w/site preparation, raking and general clean up prior to application. Operations shall include a preemergence type herbicide, 12 -25 -12 granular fertilizer @ 10 lbs./1000 sf., and pelletized limestone @ 25 lbs./1000 s/f power raked into the top 2" of soil prior to hydro-seeding. Ratios & application rates may change based upon the required soil analysis.
- Contractor is responsible for establishing a thick, weed free lawn. Seed shall be spread @ 4lbs./1000. Lawn germination shall be 95% free of noxious weeds for acceptance. Define differences in seed mixes (if applicable) with irrigation flagging until 2nd mowing. Site review by LA is required.
- Review of the installed irrigation system by the designer is required prior to release of final payment.
- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1, Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- Contractor shall maintain, from acceptance date, the lawn areas through the first mowing. Contractor is not responsible for the first mowing.
- All plant materials shall be installed in accordance with A.L.C.C. Trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, ie. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, ie. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" (settled) covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6' dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- If road base is encountered in any plant bed areas, ie. parking islands, it shall be removed and suitable amended soil installed per drawings and specifications.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10%% manure, & 30%% peatmoss or incorporate a dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include; Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20%% in volume mix of a compost soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.
- Landscape contractor shall not be responsible for topsoil spreading but shall coordinate with the site contractor adherence to the mound grades, plant bed soil depths and soil type per dwgs & spec. Landscape contractor shall power rake-out for seed.

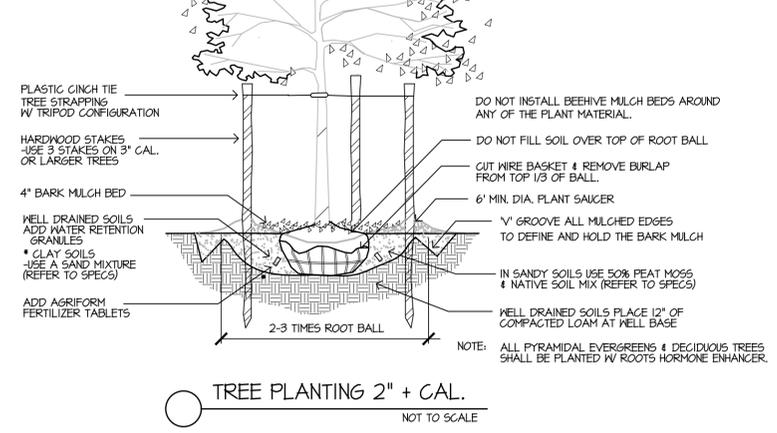
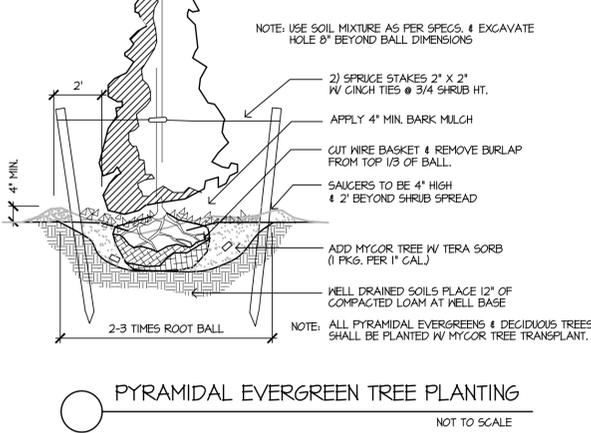
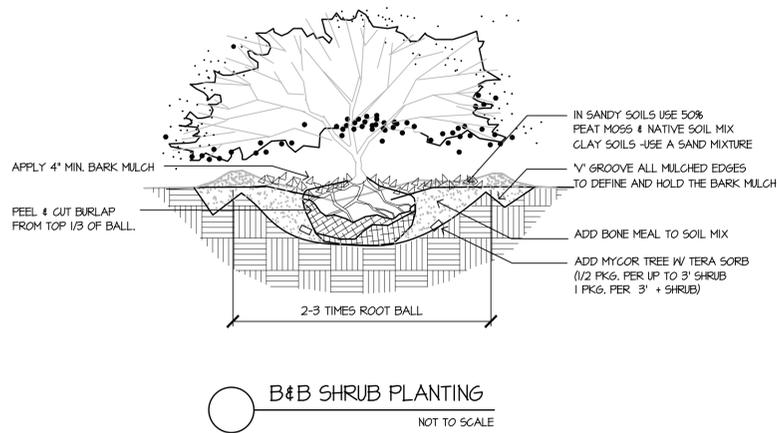
- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Seed mixes include: Sandy Soil Lawn Mix by: deercreekseed.com; New England Wetland Plants, Amherst, Ma. refer to planting plan for designations.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be payed to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Certain designated foundation edging is rood ballust (washed rounds, non-crushed, natural) Size of stone is a range of 3/4"-1.5"dia. placed to a depth of 3", upon placement apply a coating of granular Preen (preemergent).
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

PLANTING SCHEDULE:

V/ARU	ACER RUBRUM (RED MAPLE)	2.5'-3' CAL.
V/CAR	CARPINUS BETULUS (EUROPEAN HORNBEAM)	2.5'-3' CAL.
7/GM	GINKGO BILOBA FASTIGIATA (COLUMNAR MAIDENHAIR)	2.5'-3' CAL.
B/GLE	GLEDTISIA TI (SHADEMASTER HONEYLOCUST)	2.5'-3' CAL.
Z/LR	LIRIODENDRON TUPLIFERA (TULPTREE)	2.5'-3' CAL.
38/JCC	JUNIPERUS SABINA (CALGARY CARPET JUNPER)	#2 GAL.
34/JSE	JUNIPERUS CHINENSIS (SEAGREEN JUNPER)	#3 GAL.
1/OST	OSTRYA VIRGINIA (AMERICAN HONEYWOOD)	2.5'-3' CAL.
30/PAN	PANICUM VIRGATUM (SHENANDOAH SWITCH GRASS)	#2 GAL.
3/PDS	PNUS LEUCODERMIS (CROSIAN PINE)	6-7 DB

MISCELLANEOUS:
 N.E. WETLAND MIX BY NEW ENGLAND WETLAND PLANTS
 N.E. EROSION/CONTROL RESTORATION MIX (DRY) BY NEW ENGLAND WETLAND PLANTS
 SANDY SOIL LAWN MIX (IE. WWW.DEERCREEKSEED.COM)
 PREMIUM BLEND PINE/SRUCE BARK MULCH.

NOTE:
 PLANT SOURCE CATALOG SOURCE: MILLIGAN NURSERY, CHICHESTER, N.H. 603-499-6660
GENERAL CONTRACTOR NOTES:
 1. THE BID LIST MAY NOT BE ALTERED DURING THE BID PROCESS OR INSTALLATION WITHOUT THE PRIOR CONSENT (IN WRITING) OF THE LANDSCAPE ARCHITECT.
 2. ANY CHANGES TO THE PLANT INSTALLATION WITHOUT PRIOR CONSENT OF THE L.A. WILL BE GROUND REMOVED AND REPLACED WITH THE CORRECT MATERIAL AT THE CONTRACTOR'S EXPENSE (NO REIMBURSEMENT).
 3. IF AN IRRIGATION SYSTEM IS REQUESTED, THE INSTALLER SHALL SUBMIT A SHOP DRAWING FOR APPROVAL PRIOR TO THE INSTALLATION.
 4. ALL PLANT SAUCERS AROUND THE EVERGREEN TREES, SHALL EXTEND A MINIMUM 2' BEYOND THE LOWER OUTER BRANCHES.
 SUGGESTED MATERIAL SOURCES, MILLIGAN NURSERY, CHICHESTER, N.H. AND NEW ENGLAND WETLAND PLANTS, AMHERST, MA.



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No.	DATE	REVISION	BY

DETAIL SHEET - LANDSCAPE
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

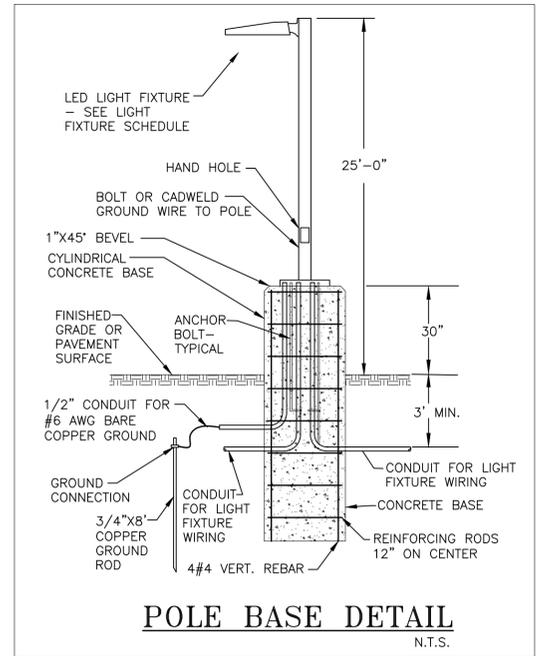
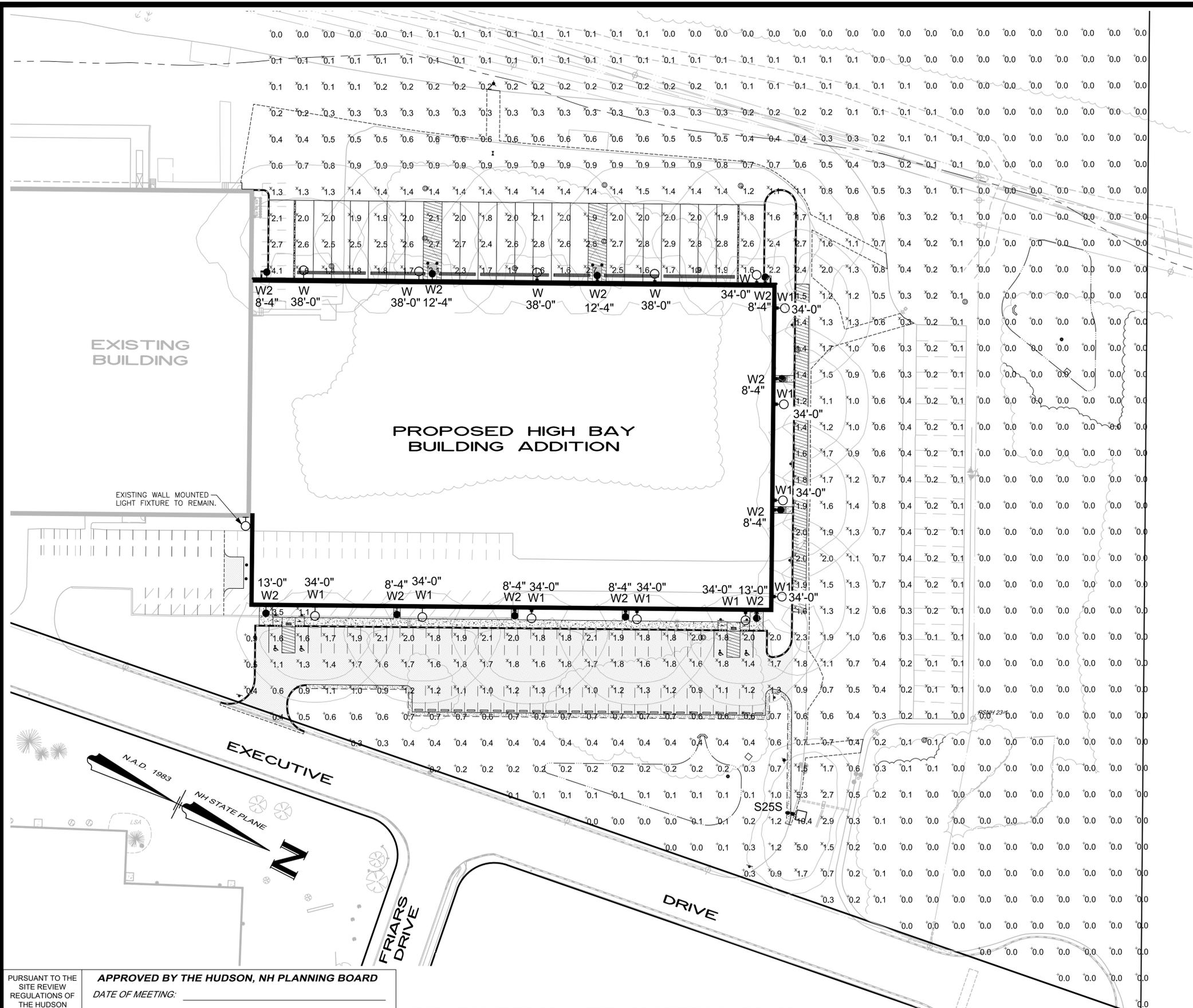
NO SCALE

12 JUNE 2020

PREPARED BY:
BLACKWATER DESIGN
 PHONE (603) 648-6500 FAX (603) 648-6506
 Land Planning - Landscape Architecture
 85 Frost Lane - Webster, NH 03303

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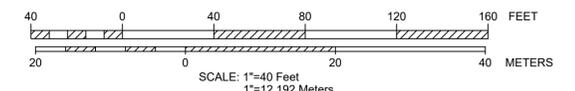


Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	S25	1	EALP-03-VOLTAGE-H2-AN-740-DIMMING/CONTROL-DI-COLOR -OPTIONS ON 22'-6" GE POLE #SSS-22.5-B4-4-COLOR-D190	GENERAL ELECTRIC EVOLVE LED AREA LIGHT WITH TYPE 2 ASYMMETRIC NARROW DISTRIBUTION ON A 22'-6" SQUARE, STEEL POLE ON A 30" EXPOSED CONCRETE BASE	LED	1	20,199	0.9	151
○	W	5	EALP-03-VOLTAGE-J4-AH-740-DIMMING/CONTROL-V1-COLOR -OPTIONS	GENERAL ELECTRIC EVOLVE LED AREA LIGHT WITH TYPE 4 ASYMMETRIC FORWARD THROW - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	24,101	0.9	186
○	W1	9	EWINB-VOLTAGE-F4-740-PE FUNCTION-COLOR-OPTIONS	GENERAL ELECTRIC EVOLVE LED WALL PACK - TYPE 4 ASYMMETRIC FORWARD DISTRIBUTION - BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	13,700	0.9	125
●	W2	11	EWLS-01-VOLTAGE-15AF-7-NON-DIMMING-FM-COLOR	GENERAL ELECTRIC EVOLVE LED L SERIES WALL PACK - TYPE 4 ASYMMETRIC FORWARD DISTRIBUTION - MOUNT WITH BOTTOM OF FIXTURE ABOVE FINISHED GRADE AT THE HEIGHT NOTED ON THE DRAWINGS	LED	1	1,500	0.9	12

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PHOTOMETRIC LIGHTING PLAN
 (MAP 215, LOT 4)
PROPOSED BUILDING ADDITION
 36 EXECUTIVE DRIVE
 HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
 265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590



12 JUNE 2020

VA
 YEATON ASSOCIATES, INC.
 Bedford, NH | Littleton, NH
 MEP/FP Engineers
 603.444.6578
 20059E



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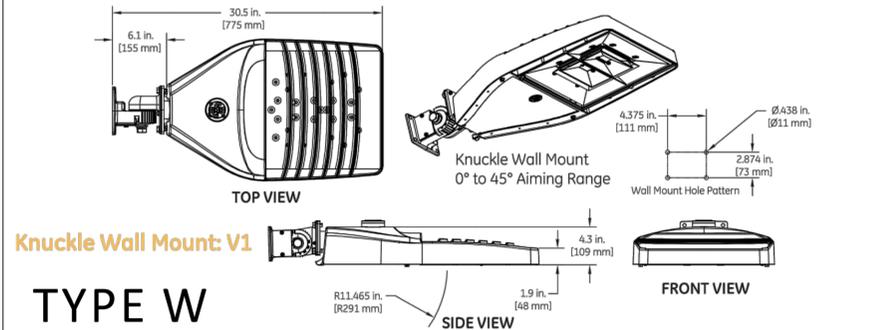
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PHOTOMETRIC SITE LIGHTING PLAN
 SCALE: 1" = 40'-0"

GE Evolve™ LED Area Lighting

EALS-03 & EALP-03

TYPES W & S25

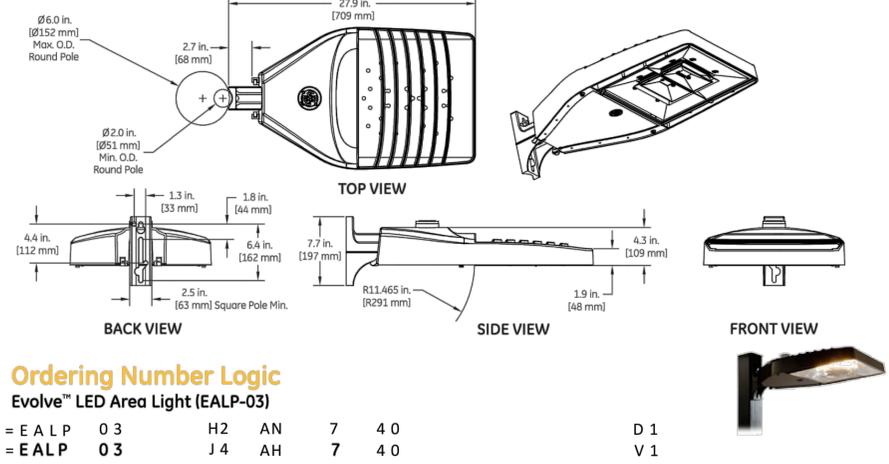


Knuckle Wall Mount: V1

TYPE W

Universal Mounting Arm: D1

TYPE S25



Ordering Number Logic

Evolve™ LED Area Light (EALP-03)

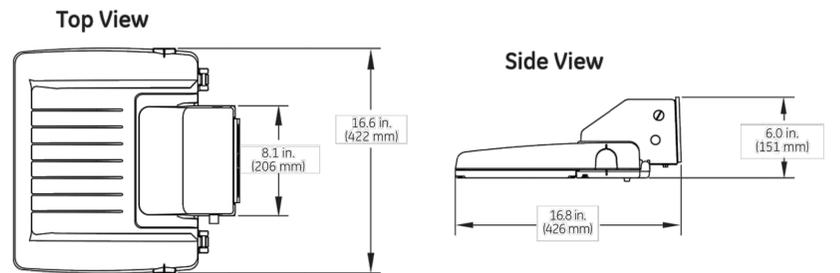
S25 = EALP 03 H2 AN 7 40 D 1
W = EALP 03 J4 AH 7 40 V 1

PROD. ID	GENERATION	VOLTAGE	OPTICAL DISTRIBUTION CODE	CRI	CCT	DIMMING	CONTROLS	MOUNTING ARM	COLOR	OPTIONS
E = Evolve	03 = 3rd Generation	0 = 120-277* 1 = 120 2 = 208 3 = 240 4 = 277 5 = 480 D = 347 H = 347-480**	SM = Symmetric Medium SW = Symmetric Wide SH = Symmetric High Angle AH = Asymmetric High Angle AF = Asymmetric Forward AN = Asymmetric Narrow/Auto	7 = 70 (min)	30 = 3000K 40 = 4000K 50 = 5000K	N = Dimming thru PE receptacle (no control) D = External Dimming 18/2-3ft cable N = Non-dimmable *All constructions supplied with ANSI C136.41 7-pin PE Receptacle **Restricted Aiming Angle 0° to 45°	A = ANSI 7-pin PE Receptacle (no control) D = ANSI 7-pin PE Receptacle with shorting cap provided *Note: See accessories section on page 10 for PE Control ordering	C1 = Integral Slip-fitter Pipe (2.378 in. ODP) D1 = Universal Mounting Arm, fitted for round or square pole mounting** K1 = Knuckle Slipfitter for 1.9 in. - 2.3 in. OD Tenon*** S1 = Knuckle Slipfitter for 2.3 in. - 3.0 in. OD Tenon*** V1 = Knuckle Wall Mount*** *Supplied with leads ** Supplied with 16/3 ft cable *** Restricted Aiming Angle 0° to 45°	GRAY = Gray BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White	F = Fusing H = Motion Sensor (Sensor Switch) H2 = Motion Sensor (Dinrail) L = Tool-Less Entry R = Enhanced Surge Protection (10kV/5kA) S1 = Rotated Left † S2 = Rotated Right † T = Elevated Surge Protection (20kV/10kA) U = DALI dimming** V = 3-Position Terminal Block V = Coastal Finish XXX = Special Options

Evolve™ LED Wall Pack

N Series (EWNB)

TYPE W1



Ordering Number Logic

Evolve LED Wall Pack N Series (EWNB)

EWN B F 4 7 4 0

PROD. ID	PHOTOMETRIC SERIES	VOLTAGE	OPTICAL CODE	CRI	LED COLOR TEMP.	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve	B = Photometric Series "B"	0 = 120-277* 1 = 120 2 = 208 3 = 240 4 = 277 5 = 480 D = 347 H = 347-480**	7 = 70 (min)	30 = 3000K 40 = 4000K 50 = 5000K	1 = None 3 = Button PE* A = ANSI C136.41 7-pin PE Receptacle # D = ANSI C136.41 7-pin PE Receptacle with Shorting Cap #	N = None Required	BLCK = Black DKBZ = Dark Bronze GRAY = Gray WHITE = White	D = External Dimming Leads Provided (0-10Volt Input) F = Fusing L = Tool less entry R = 10kV Enhanced Surge Protection H = Motion Sensor # U = DALI Dimming** XXX = Special Options	

GE Evolve™ LED L-Series Wall Pack EWLS

TYPE W2

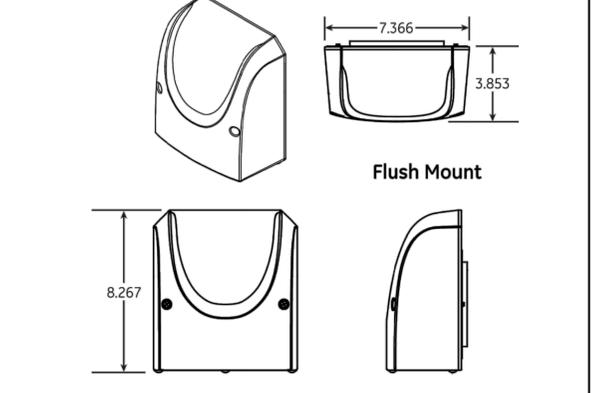
EWLS 01 15 AF 7 4 0

PRODUCT	GENERATION	VOLTAGE	OPTICAL CODE	CRI	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
E = Evolve	01 = Generation	0 = 120-277* 1 = 120* 2 = 208* 3 = 240* 4 = 277* D = 347*	15AF = 1500lm, Asymmetric Forward 40AF = 4000lm, Asymmetric Forward	7 = 70 CRI	30 = 3000K 40 = 4000K 50 = 5000K	N = Non-Dimming D = Dimming* ‡ Dimming not available at 1500lm	1 = None* 3 = Button PE* ‡ Must specify discrete voltage	F = Flush Mount* CB = Conduit Box Mount**	DKBZ = Dark Bronze* BLCK = Black GRAY = Gray WHITE = White	H = Motion Sensor* ### = Special Options J = CLU/Canada W = Non-Graphical White Box



GE Evolve™ LED L-Series Wall Pack

EWLS



No.	DATE	REVISION	BY
1	09/01/20	TOWN AND NHDES COMMENTS	EDB

PROPOSED BUILDING ADDITION

36 EXECUTIVE DRIVE HUDSON, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
NV HUDSON INDUSTRIAL, LLC
265 FRANKLIN STREET, SUITE 1001 BOSTON, MASSACHUSETTS 02110 (617) 391-3590

NO SCALE

12 JUNE 2020



PURSUANT TO THE SITE REVIEW REGULATIONS OF THE HUDSON PLANNING BOARD, THE SITE PLAN APPROVAL GRANTED HEREIN EXPIRES TWO YEARS FROM DATE OF APPROVAL

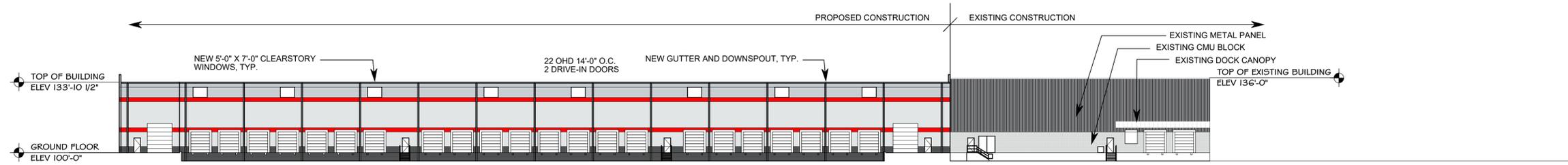
APPROVED BY THE HUDSON, NH PLANNING BOARD

DATE OF MEETING: _____

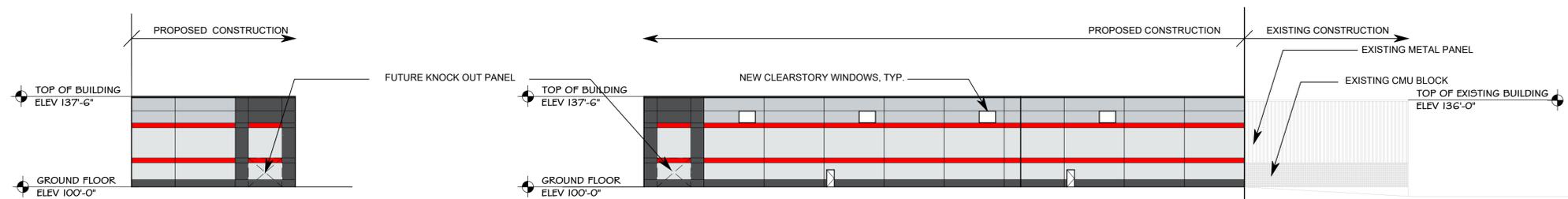
CHAIRMAN: _____ SIGNATURE DATE: _____

SECRETARY: _____ SIGNATURE DATE: _____

SITE PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF PLANNING BOARD MEETING FINAL APPROVAL. FINAL APPROVAL COMMENCES AT THE PLANNING BOARD MEETING DATE AT WHICH THE PLAN RECEIVES FINAL APPROVAL.

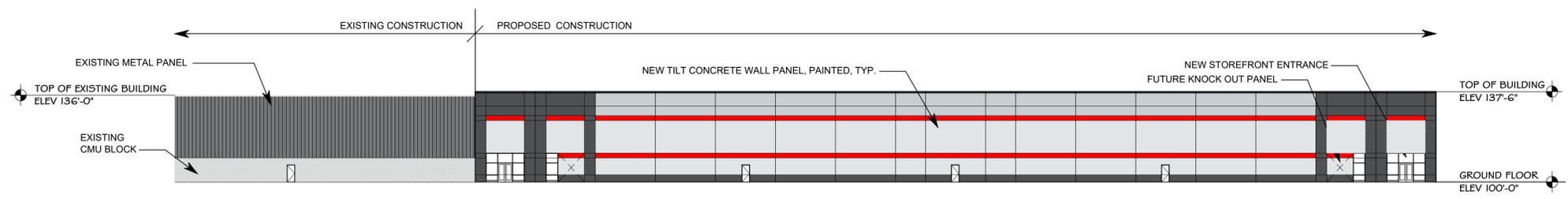


1 PROPOSED WEST ELEVATION
A2.1 SCALE: 1" = 20'-0"



2 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1" = 20'-0"

3 PROPOSED NORTH ELEVATION
A2.0 SCALE: 1" = 30'-0"



4 PROPOSED EAST ELEVATION
A2.1 SCALE: 1" = 20'-0"



ELECTRICAL: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____
PLUMBING: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____
FIRE PROTECTION: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____

CONSULTING ENGINEERS
CIVIL: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____
STRUCTURAL: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____
MECHANICAL: NAME _____ ADDRESS _____ CITY/STATE/ZIP _____ CONTACT INFO _____

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PROJECT
NOVAYA
LEGAL SERVICES VENTURES
36 EXECUTIVE DRIVE
HUDSON, NEW HAMPSHIRE

JOB NO : SJ2210
PA : BJC
DATE : 08.21.2020

REVISIONS	
05.11.2020	
08.21.2020	
09.02.2020	

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SHEET NUMBER
A2.0
ELEVATIONS